



Cleveland City Planning Commission

Friday, June 4, 2021

**** PLEASE MUTE YOUR MICROPHONE ****

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

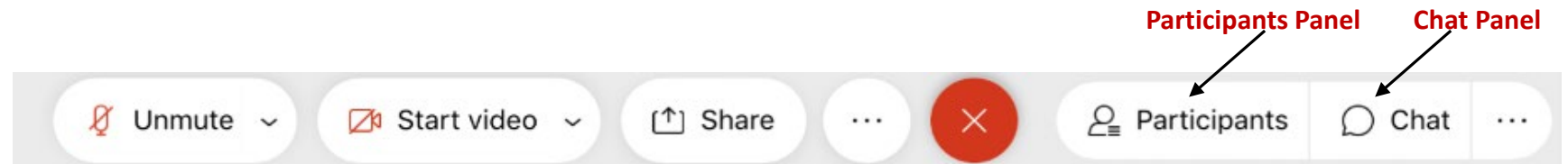
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



June 4, 2021

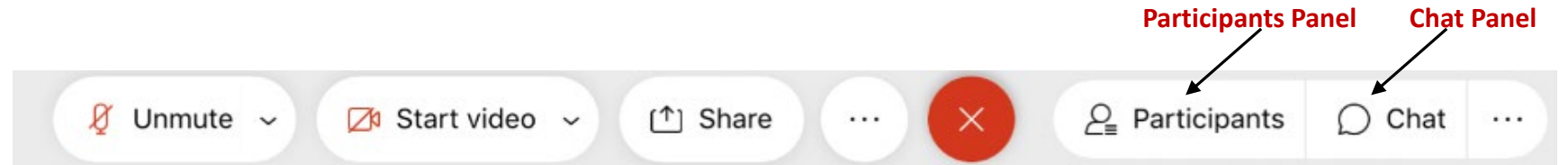
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



June 4, 2021

Cleveland City Planning Commission

Call to Order and Roll Call



June 4, 2021

Cleveland City Planning Commission

Special Presentations – Public Art



June 4, 2021

Special Presentation



June 4, 2021

Brooks Bio Repository Public Art

Address: 9808 Cedar Avenue

Presenter: David Berlekamp, AIA

Bio Repository

Public Art + Landscape Plan

06 May2021

Jacolby Satterwhite, *Dawn*

- Outdoor 3D animated virtual reality video on free-standing wall clad with artist-designed wallpaper
- Work with Fairfax residents to create art for use in the video
- Virtual campus-wide viewing access
- Original soundtrack to be utilized within Cleveland Clinic
- FRONT International Contemporary Art Triennial partnership



Inspired by the solace found in the fantasy worlds of video games during his childhood struggle with Osteogenic sarcoma, Satterwhite proposes the development of a Virtual Reality film for Cleveland Clinic.

- Titled Dawn, the 3D animated video will reflect hope and healing as envisioned by Fairfax community members.
- Video will be embedded in a freestanding wall located in the greenspace on the BioRepository site.
- The video will also be publicly accessible on mobile devices via QR code, and it will be displayed on Cleveland Clinic's main campus.
- Satterwhite will develop the video in collaboration with Fairfax residents. With the assistance of a paid community facilitator, residents will be invited to create a sketch or brief text describing a utopic future for the neighborhood. Those contributions will be transformed by Satterwhite and woven into his video.
- The artwork will engage Cleveland Clinic's neighbors and caregivers in a forward-looking, creative process resulting in a powerful video installation that will reflect community voices, explore art as a form of healing and serve as a lasting connection to the community.
- Satterwhite is excited by the opportunity to create a video that in his words "delivers optimism, mindfulness, and prospects for a positive future."

Bio Repository Public Art
Location Map





CCF BROOKS BIO - 9808 CEDAR AVENUE

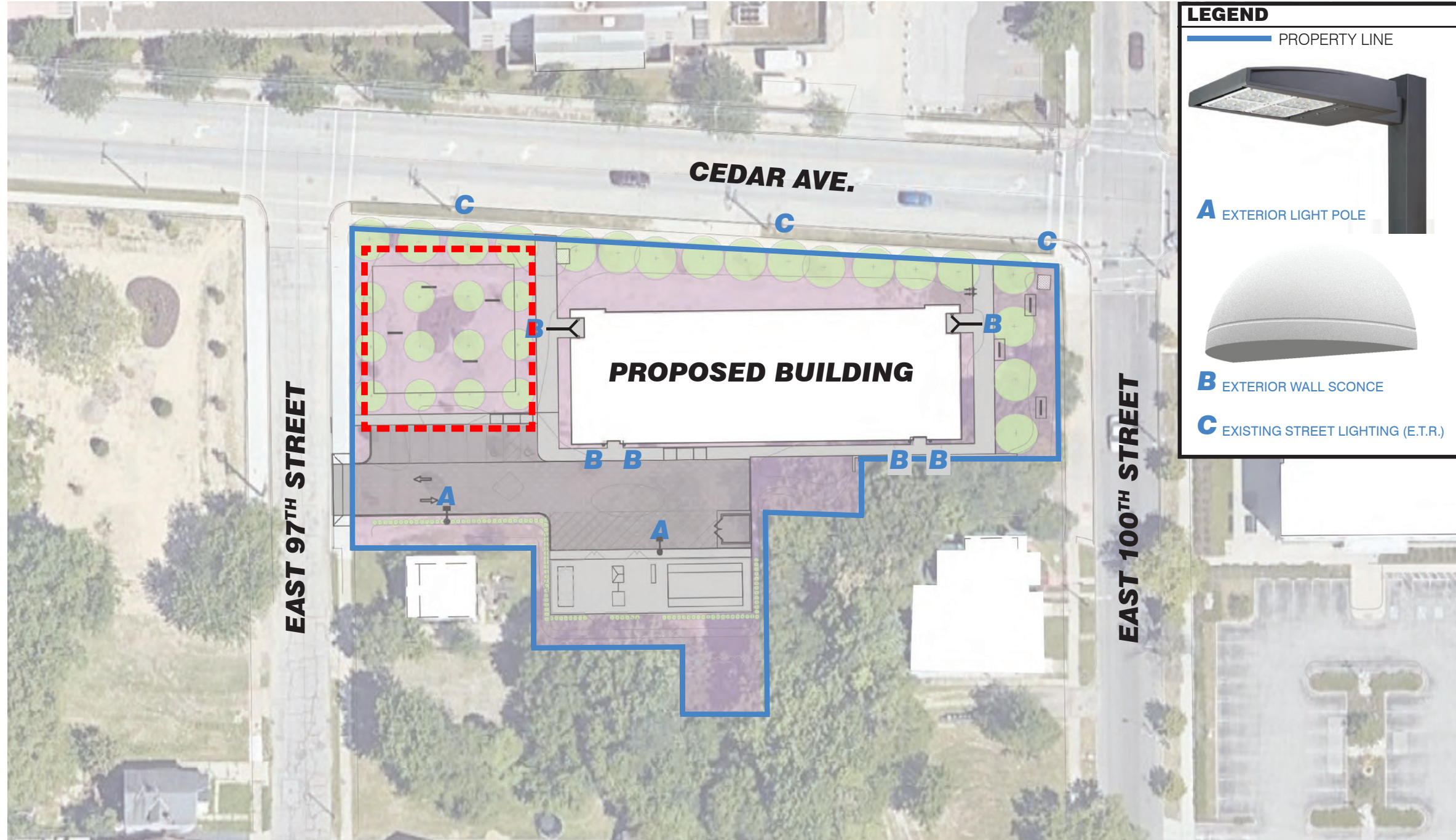


Architects, L.L.C

| EXISTING SITE PLAN

01

Previously submitted

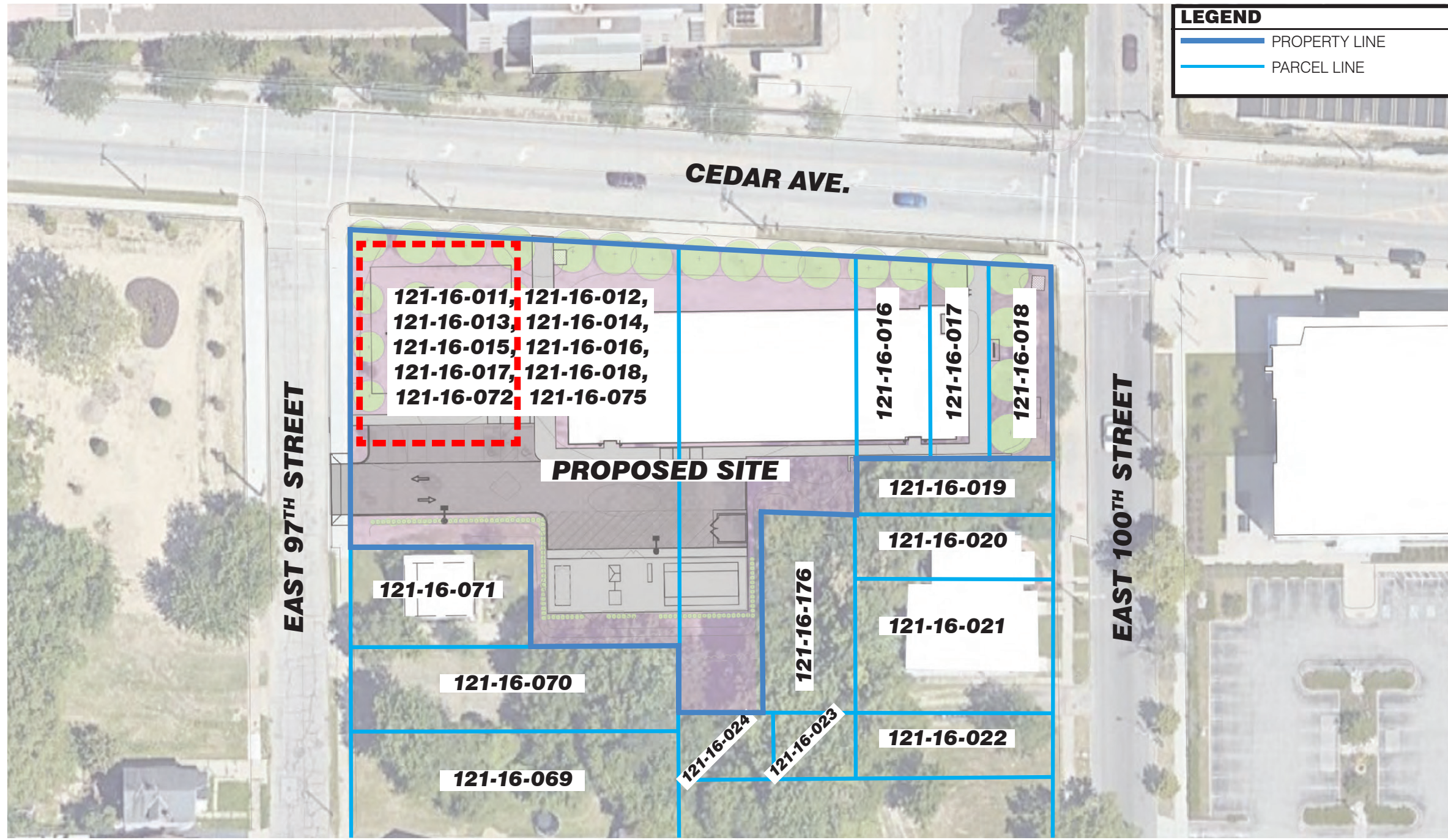


CCF BROOKS BIO - 9808 CEDAR AVENUE



| SITE LIGHTING PLAN

03



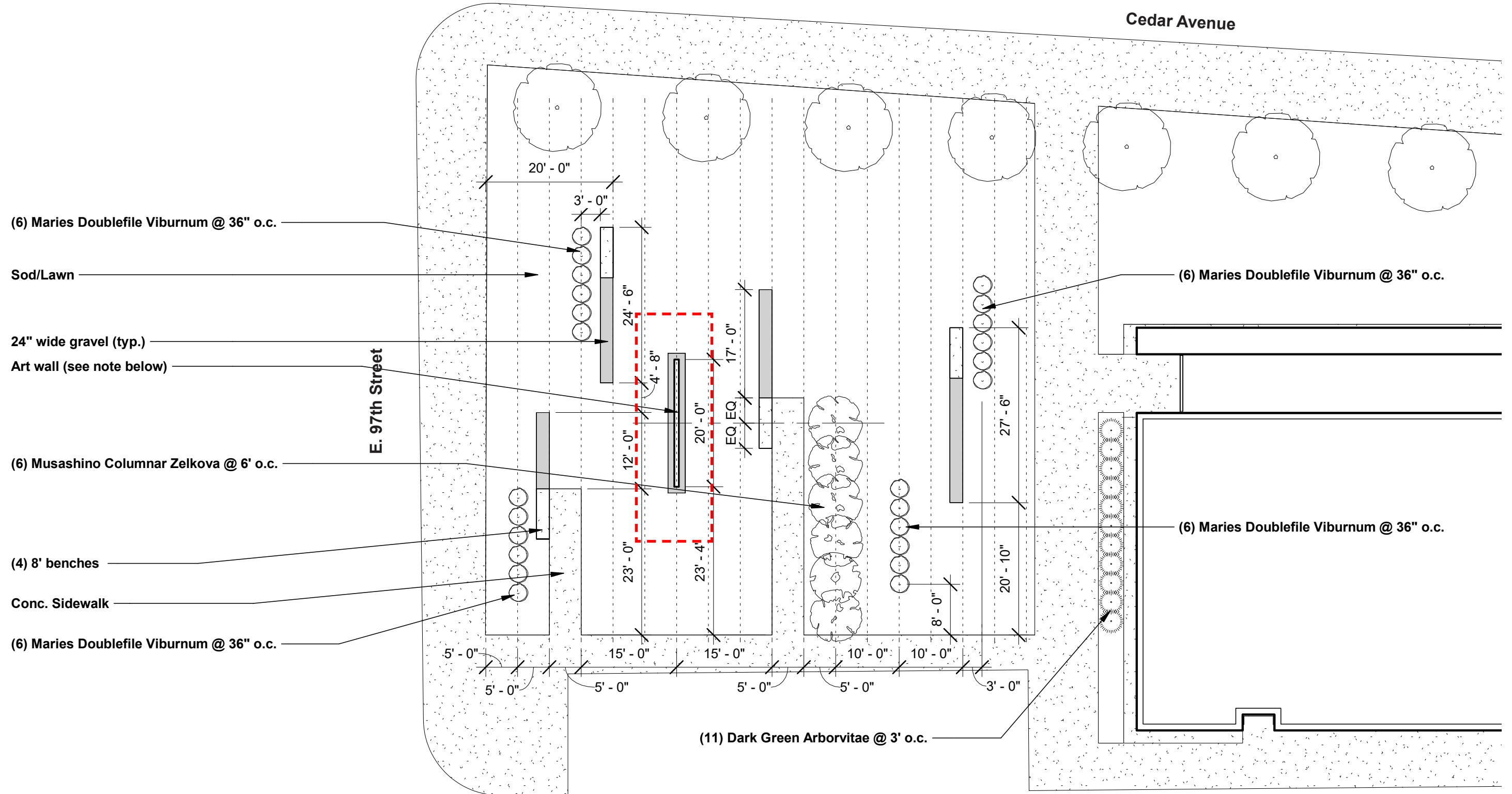
CCF BROOKS BIO - 9808 CEDAR AVENUE

PARCEL MAP DIAGRAM 04



Previously submitted

**Bio Repository Public Art
Site Plan**



Art wall
10' high x 20' long cmu wall with appropriate foundations - see separate drawing for details

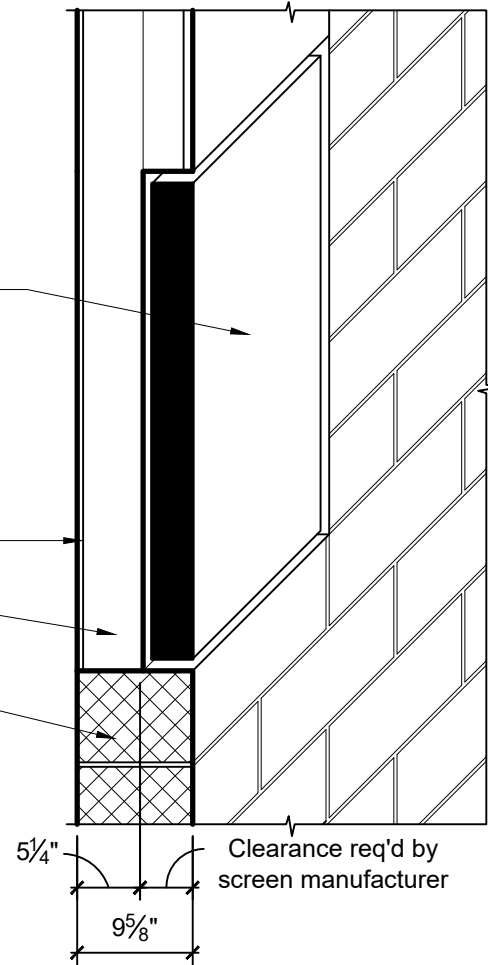
Bio Repository Public Art
Art Wall Details

digital screen - provided by CCF

exterior grade sheathing w/ exposed fasteners for rear access to screen

galv. mtl stud framing

10" CMU wall



Art Wall Section Axo

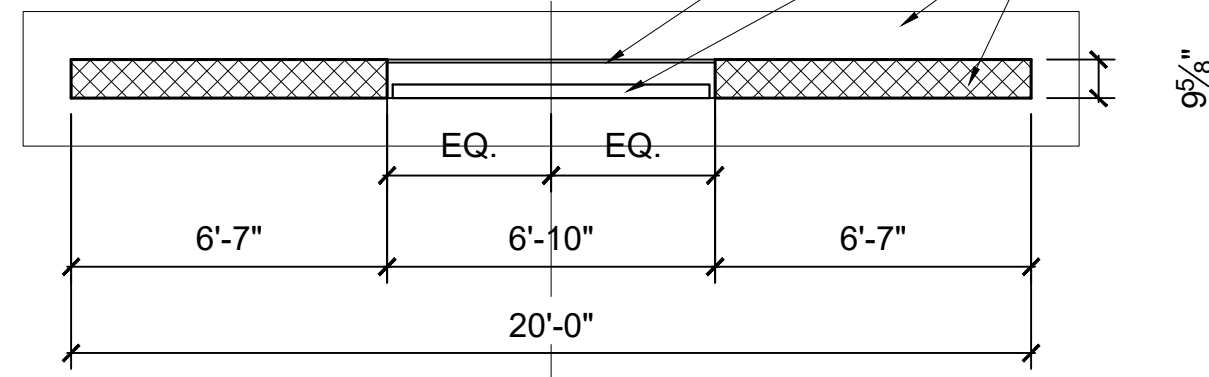
$\frac{3}{4}'' = 1'-0''$

exterior grade sheathing o/ galv. mtl. stud framing - to be installed w/ screen

digital screen - provided by CCF

12" gravel mow strip around art wall

10" CMU wall



Art Wall Plan

$\frac{1}{4}'' = 1'-0''$

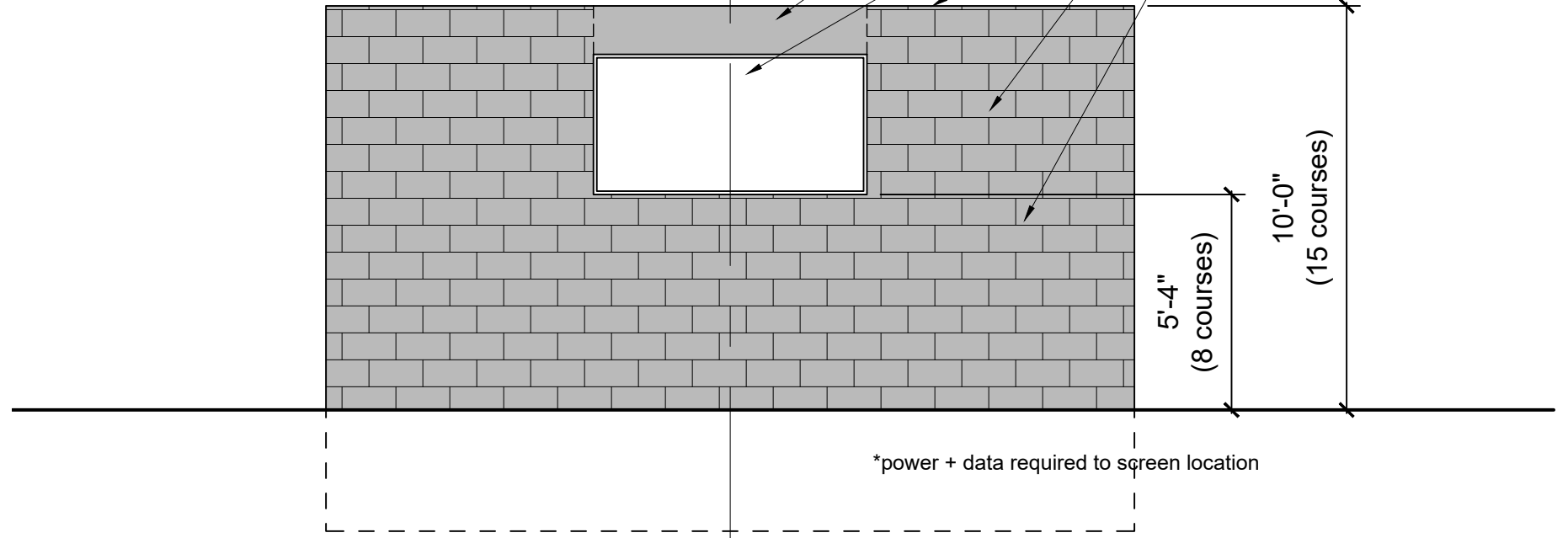
exterior grade sheathing o/ galv. mtl. stud framing - to be installed w/ screen

digital screen - provided by CCF

solid CMU at top course

10" CMU wall

vinyl artwork to be applied to wall (grey area) - CCF provided



Art Wall Elevation

$\frac{1}{4}'' = 1'-0''$

Bio Repository Public Art
Site Plan

Low shrub planting

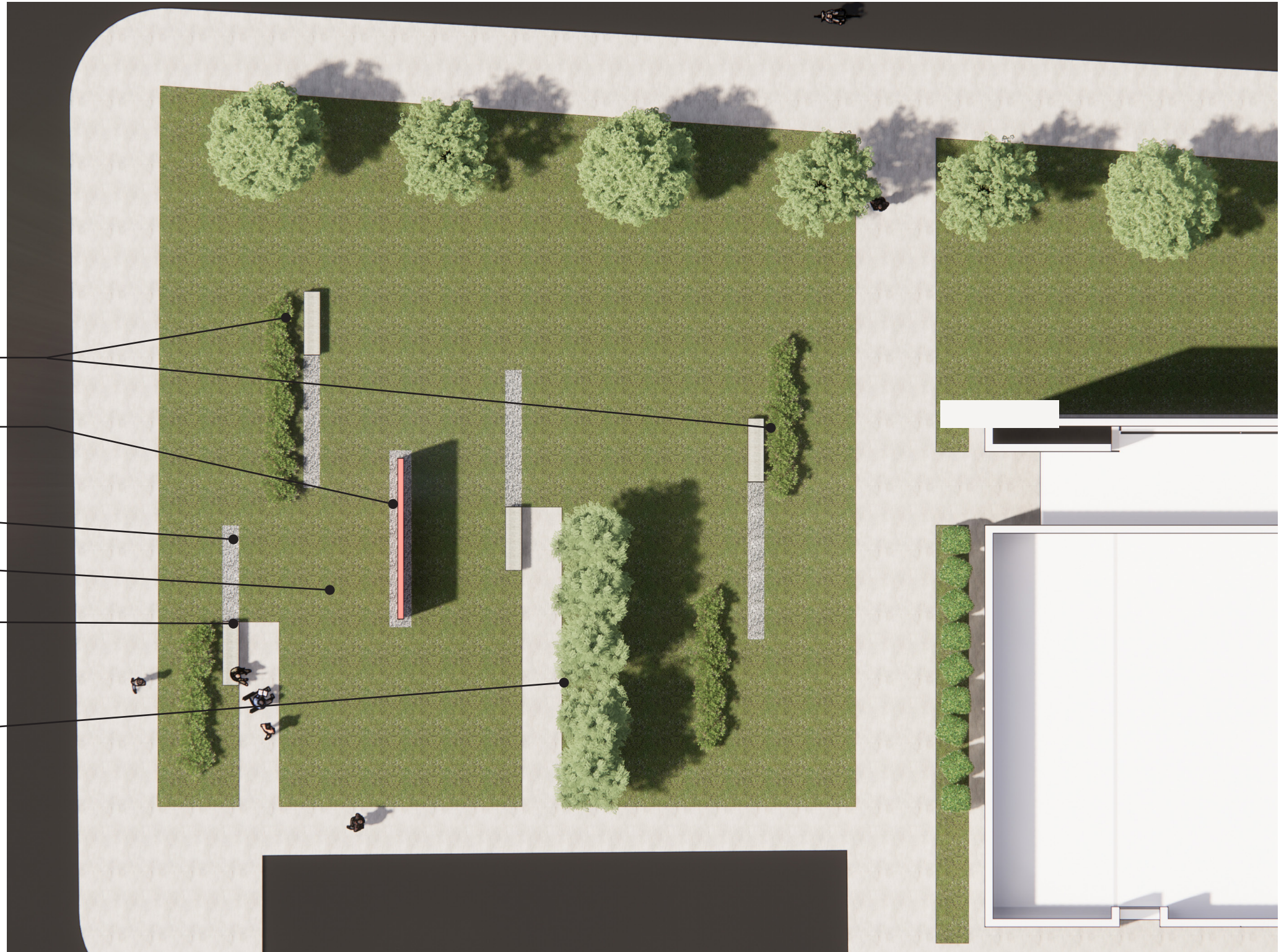
Public Art

Gravel

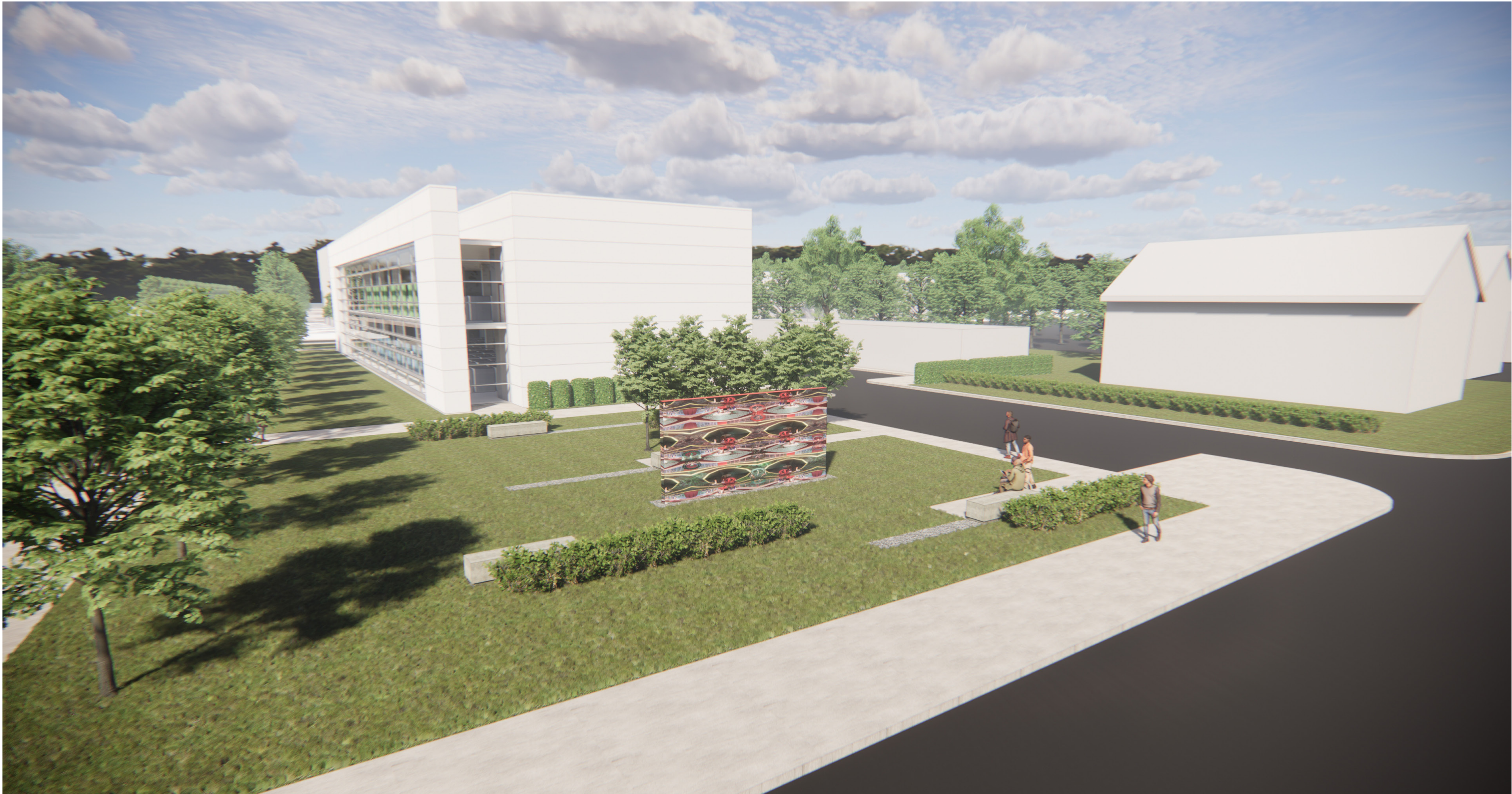
Lawn

Concrete benches

Tree plantings



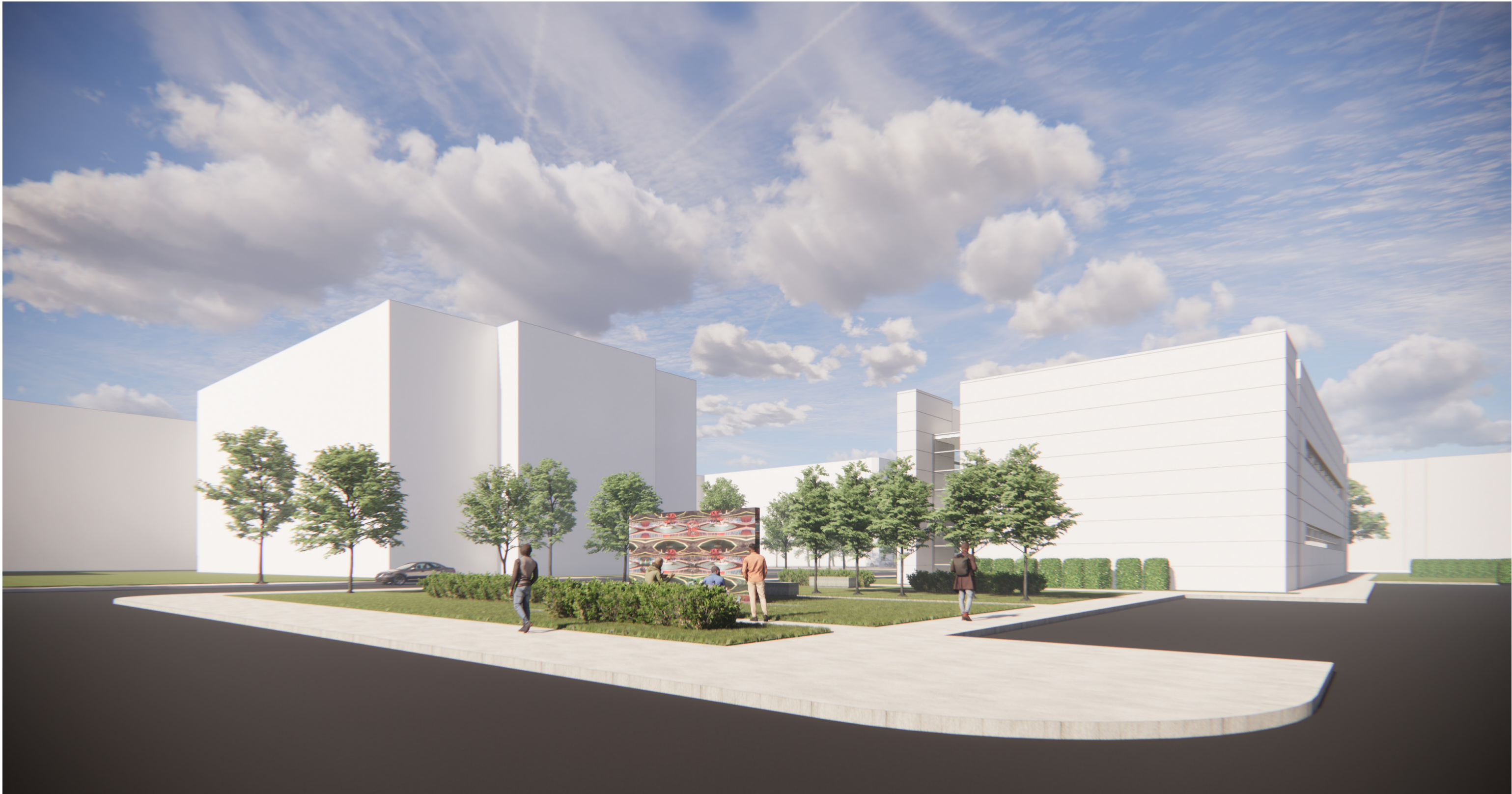
Bio Repository Public Art
Aerial Perspective



Bio Repository Public Art
Ground Perspective



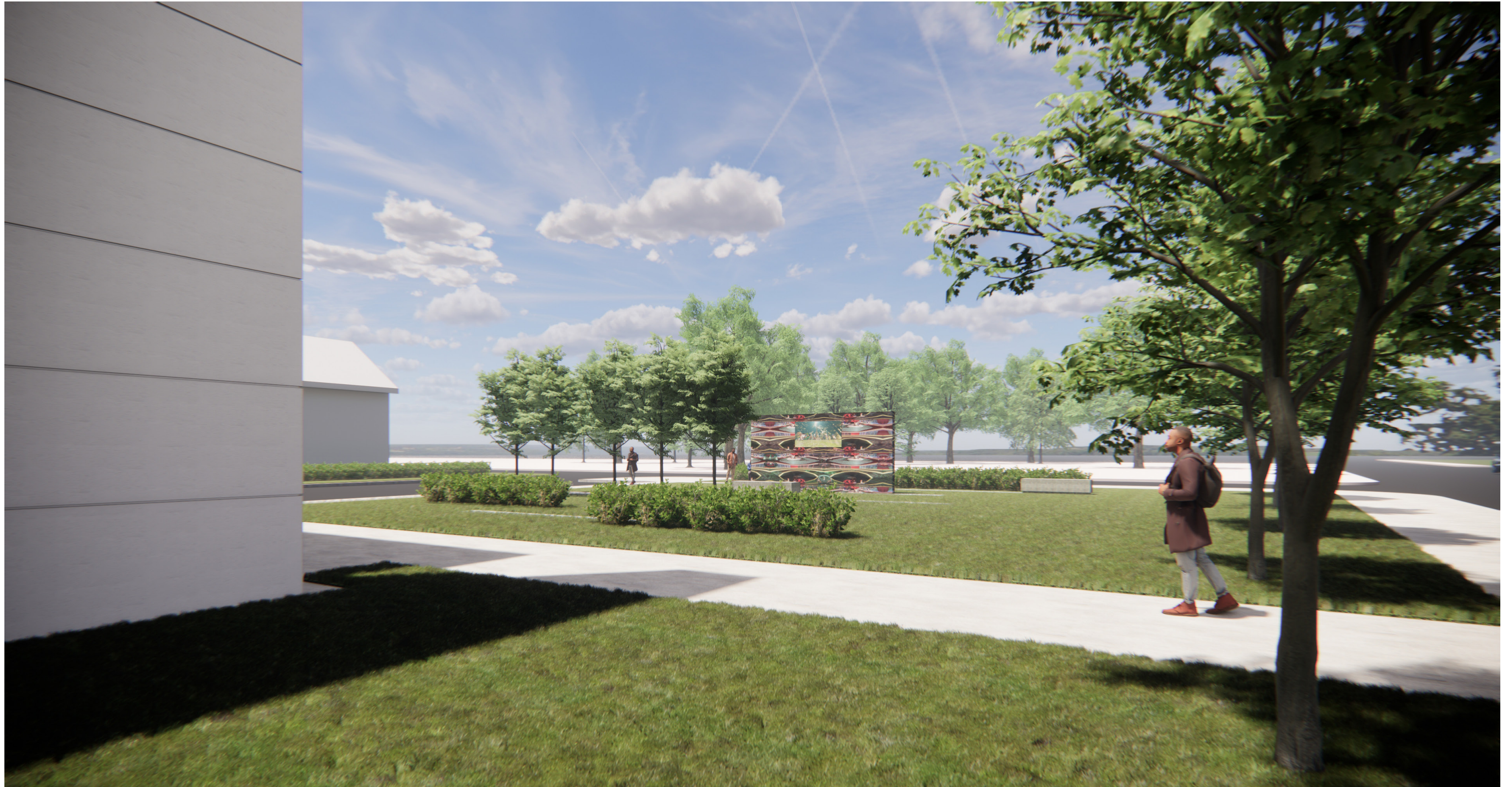
Bio Repository Public Art
Ground Perspective



Bio Repository Public Art
Ground Perspective



Bio Repository Public Art
Ground Perspective





Celebrated artist Jacolby Satterwhite is known for his immersive animated virtual reality videos. Satterwhite uses video game language and found materials to create triumphant and optimistic works that celebrate the lived experiences of his family, friends, and community.

Satterwhite was born in 1986 in Columbia, South Carolina. He received his BFA from the Maryland Institute College of Arts, Baltimore and his MFA from the University of Pennsylvania, Philadelphia. His work has been presented in numerous exhibitions both in the United States and in Europe, including Fabric Workshop & Museum, Philadelphia (2019); Whitechapel Gallery, London (2019); the Museum of Modern Art, New York (2019); and the Minneapolis Institute of Art (2019). His work is included in the collections of the Museum of Modern Art, New York; Studio Museum in Harlem, New York; and the Whitney Museum of American Art, New York. In 2019, Satterwhite collaborated with Solange Knowles on her visual album, “When I Get Home.”



JACOLBY SATTERWHITE
Installation view of Black Refractions: Highlights from The Studio Museum in Harlem,
NY, 2020. © Jacolby Satterwhite.



JACOLBY SATTERWHITE
You're at home at Pioneer Works, Brooklyn, NY, 2019. © Jacolby Satterwhite.

Community Support for Dawn

- Prior to requesting submissions from Fairfax residents, the Cleveland Clinic, in conjunction with Karamu House and FRONT International, held two virtual information sessions to discuss the BioRepository, the art project and the impact on the neighborhood. Councilman Blaine A. Griffin was a featured speaker at both events and is in full support of the project.
- Karamu House is working with Cleveland Clinic as a convening space both virtually and physically.
- Feedback from these sessions has been taken into account by the artist and Cleveland Clinic and is being incorporated into the final project.
- Community reactions to Satterwhite and Dawn has been largely positive.
 - *“The project provides broad access for community involvement.”-Tony Sias, Director of Karamu House*
 - *“Love this idea... the spark + spirit + soul of it. we can + should propose even more radical + imaginative visions for what Fairfax might be(come)”-Mordecai Cargill, Co-Founder and Creative Director of ThirdSpace Action Lab*
 - *“What an out of the blue rewarding experience, I didn’t expect it to have such meta textual significance from a communal making perspective. Even though there is a lot to do regarding the long standing relationship to the clinic and Fairfax from a leadership perspective I think you can leave this particular experience feeling like you addressed some of that with the way this has gone.” – RA Washington*



June 4, 2021

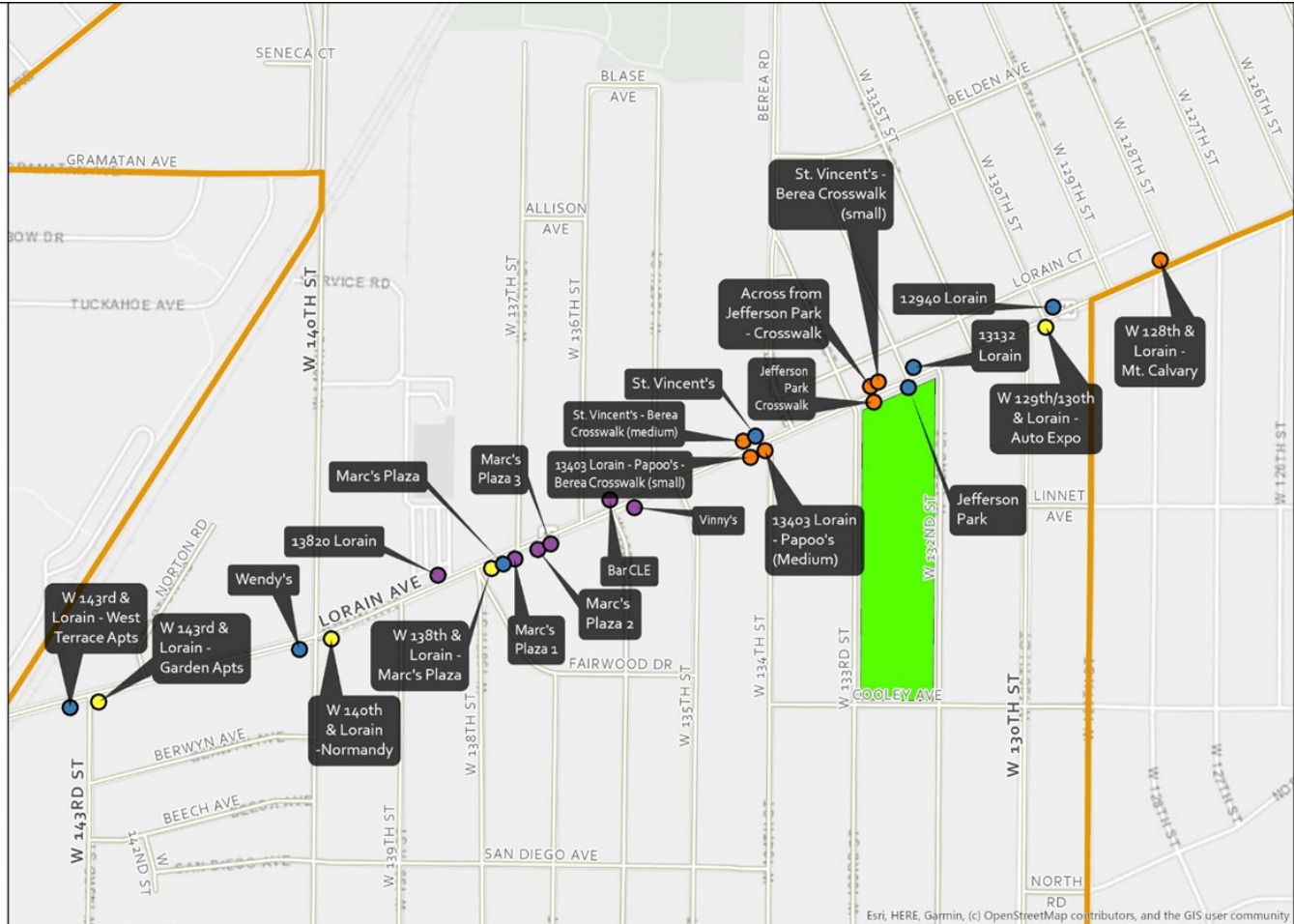
Lorain Avenue Public Art Phase 3

Locations: Utility Boxes and RTA shelters on Lorain Avenue, Ward 16

Presenter: Melissa Miller, Bellaire Puritas CDC

CDSG Art Lorain 2019

- JeffersonPark
- Art Locations**
- Art Location Type**
- Bus Stop
- Planter
- Pole Box
- Signal Box



Updated 12/9/2019

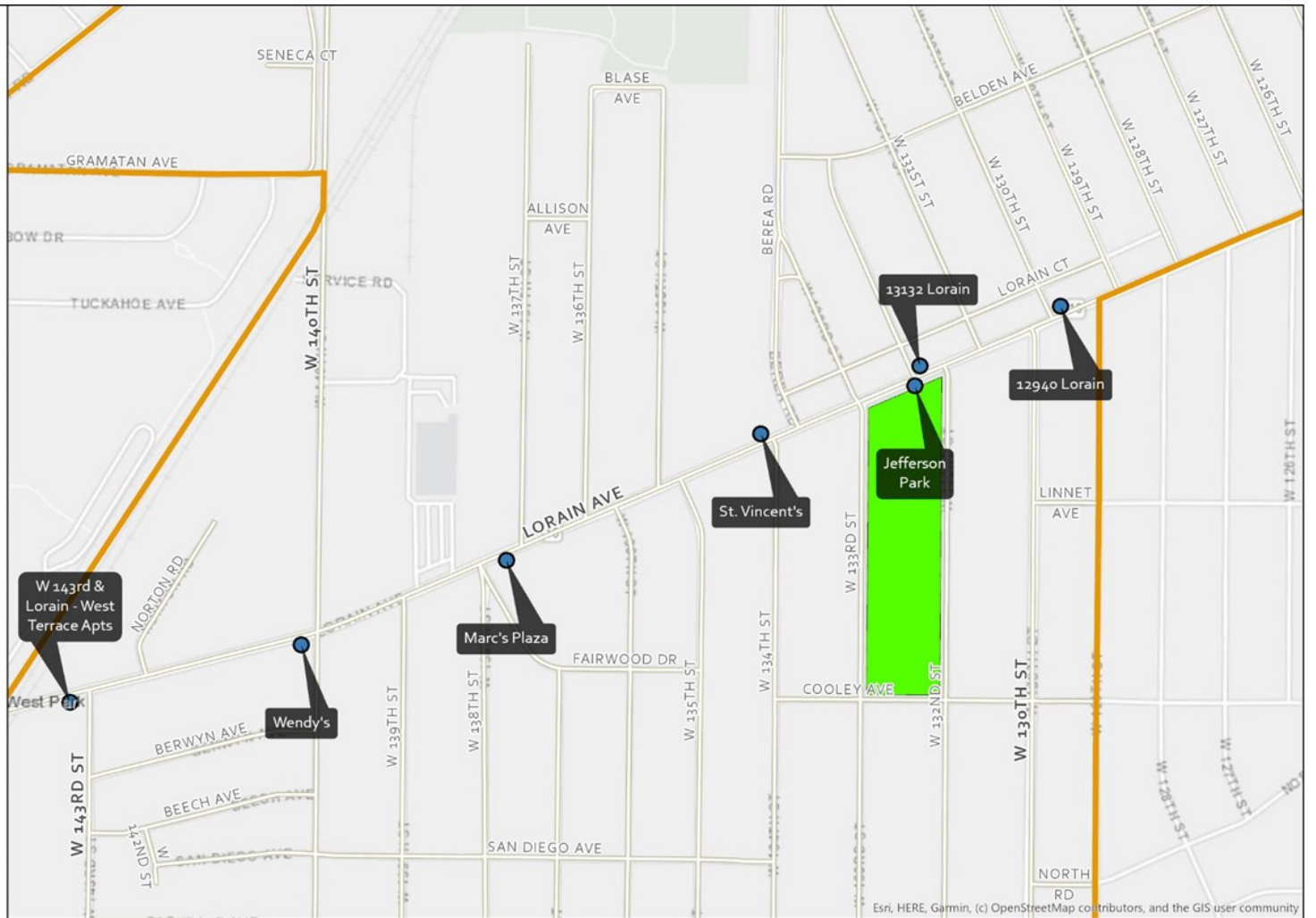


Lorain Avenue Public Art Phase 3—Area Map
Design Review Submittal: May 19, 2021



CDSG Art Lorain 2019

- JeffersonPark
- Art Locations
- Art Location Type
 - Bus Stop



Updated 12/9/2019



Lorain Avenue Public Art Phase 3—Bus Shelters
Design Review Submittal: May 19, 2021





1. 12940 Lorain
2. 13132 Lorain
3. Jefferson Park (between W. 132nd and W. 133rd on Lorain)
4. 13400 Lorain (St. Vincent de Paul Church)
5. 13693 Lorain (in front of the Fairwood Shopping Plaza where Marc's is located)
6. 14015 Lorain (Wendy's)
7. 14305 Lorain (West Terrace Apartments)

Lorain Avenue Public Art Phase 3—Bus Shelters
Design Review Submittal: May 19, 2021

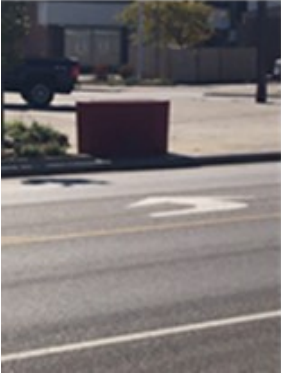
April Bleakney



Lorain Avenue Public Art Phase 3—Bus Shelters
Design Review Submittal: May 19, 2021



1.



2.



3.



3.



4.



1. 13531 Lorain (Vinny's Beverage)

2. 13531 Lorain (Bar CLE)

3. 13693 Lorain (Three planters in front of the Fairwood Shopping Plaza where Marc's is located)

4. 13820 Lorain (CubeSmart)

Lorain Avenue Public Art Phase 3—Planters
Design Review Submittal: May 19, 2021

Alicia Vasquez

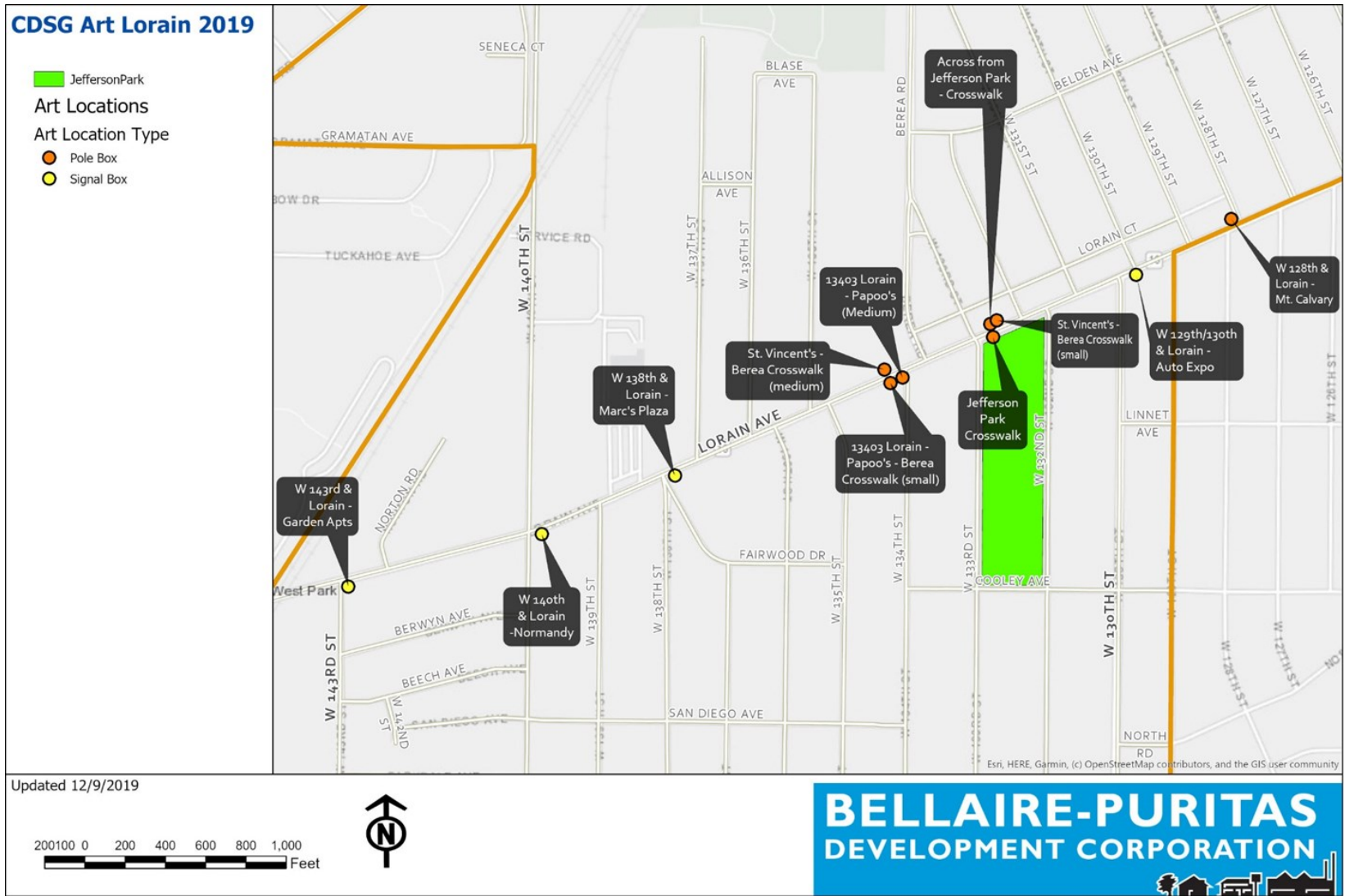


Susie Underwood



Lorain Avenue Public Art Phase 3—Bus Shelters
Design Review Submittal: May 19, 2021





Lorain Avenue Public Art Phase 3—Utility Box Map
 Design Review Submittal: May 19, 2021



1.



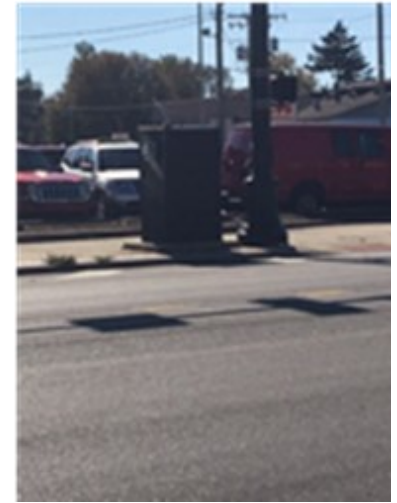
2.



3.



4.



1. SE corner of Lorain Avenue and W. 138th Street, cabinet: 25" deep, 44" wide, 67 ¼" high
2. SE corner of Lorain Avenue and West 140th Street, cabinet: 25" deep, 44" wide, 67 ¼" high
3. SE corner of Lorain Avenue and West 143rd Street, cabinet: 25" deep, 44" wide, 67 ¼" high
4. SE corner of Lorain Avenue and West 130th Street, cabinet: 25" deep, 44" wide, 70 ¾" high

Lorain Avenue Public Art Phase 3—Traffic Signaling Boxes
Design Review Submittal: May 19, 2021

Don't Panic!



Georgio Sabino and Hector Vega



H. M. Vega *Sabino*

Lorain Avenue Public Art Phase 3—Traffic Signaling Boxes

Design Review Submittal: May 19, 2021



1.



2.



3.



4.



5.



6.



7.



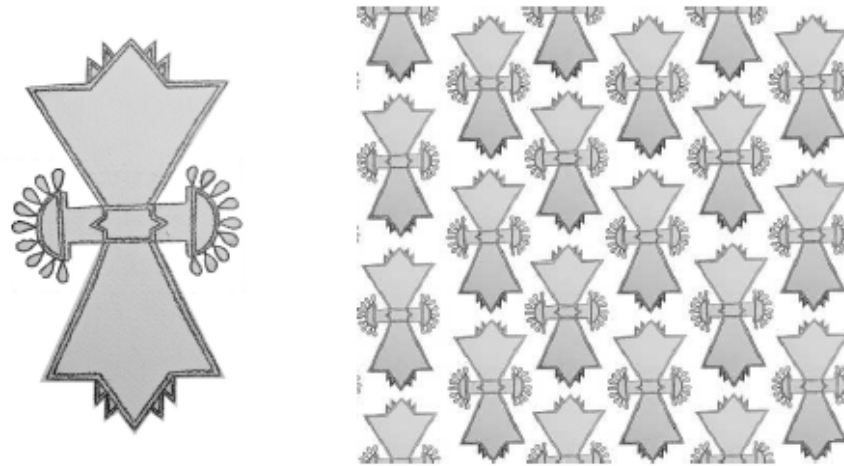
1. NW corner of Lorain and W. 128th Street
2. South side of Lorain by Jefferson Park (between W. 132nd and W. 133rd Streets)
3. North side of Lorain Across from Jefferson Park (between W. 132nd and W. 133rd Streets)
4. Small pole box in front of 13400 Lorain (St. Vincent de Paul's Church)
5. Large pole box in front of 13400 Lorain (St. Vincent de Paul's Church)
6. Small pole box in front of 13403 Lorain (Papoo's Auto)
7. Large pole box in front of 13403 Lorain (Papoo's Auto)

Lorain Avenue Public Art Phase 3—Pole Boxes
 Design Review Submittal: May 19, 2021

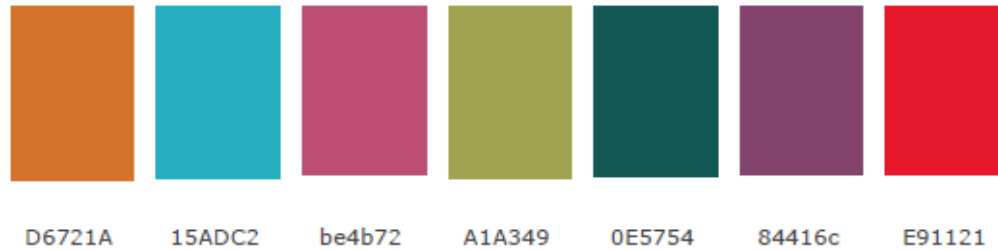


Charley Frances

Community Wallpaper Composition Direction Proposed



Color Palette Direction Proposed



Lorain Avenue Public Art Phase 3—Pole Boxes
Design Review Submittal: May 19, 2021

April Bleakney—Lakewood Bus Shelter



April Bleakney—GCRTA Rapid Window

Selected Artists—Previous Work
Design Review Submittal: May 19, 2021



Alicia Vasquez—Traffic Signaling
Control Box, Shaker Heights, Oh



Susie Underwood —The Little Rose Art
Show



Selected Artists—Previous Work
Design Review Submittal: May 19,2021

Don't Panic! - Bike Box



Gerogio Sabino and Hector Vega— CSU Maxine Goodman Levin
College of Urban Affairs



Selected Artists—Previous Work
Design Review Submittal: May 19, 2021



Charley Frances—Temporary Mural,
Columbus, OH



Selected Artists—Previous Work
Design Review Submittal: May 19, 2021



Special Presentation



June 4, 2021

WRDSMTH Mural

Address: 2630 Payne Avenue

Presenters: Rachel Pollock, Graffiti HeART

Joyce Huang, MidTown Cleveland

WRDSMTH

'How do I love thee' tour
With love, Graffiti HeArt

#WRDSMTHCLE21

About WRDSMTH

WRDSMTH

From Wikipedia, the free encyclopedia

WRDSMTH is a [Los Angeles](#)-based [street artist](#) known for his iconic image of a vintage typewriter featuring different sheets of inspirational text.^[1]

Spraypainting and wheatpasting outdoor walls with thousands of works since 2013, WRDSMTH can be found in cities throughout the world, including: [London](#), [Paris](#), [New York City](#), [Philadelphia](#) and [New Orleans](#).^{[2][3][4][5]} In 2017, he installed eight large-scale art pieces at [The Bloc](#) in [Downtown Los Angeles](#) as part of their permanent collection.

CLE BORN & RAISED

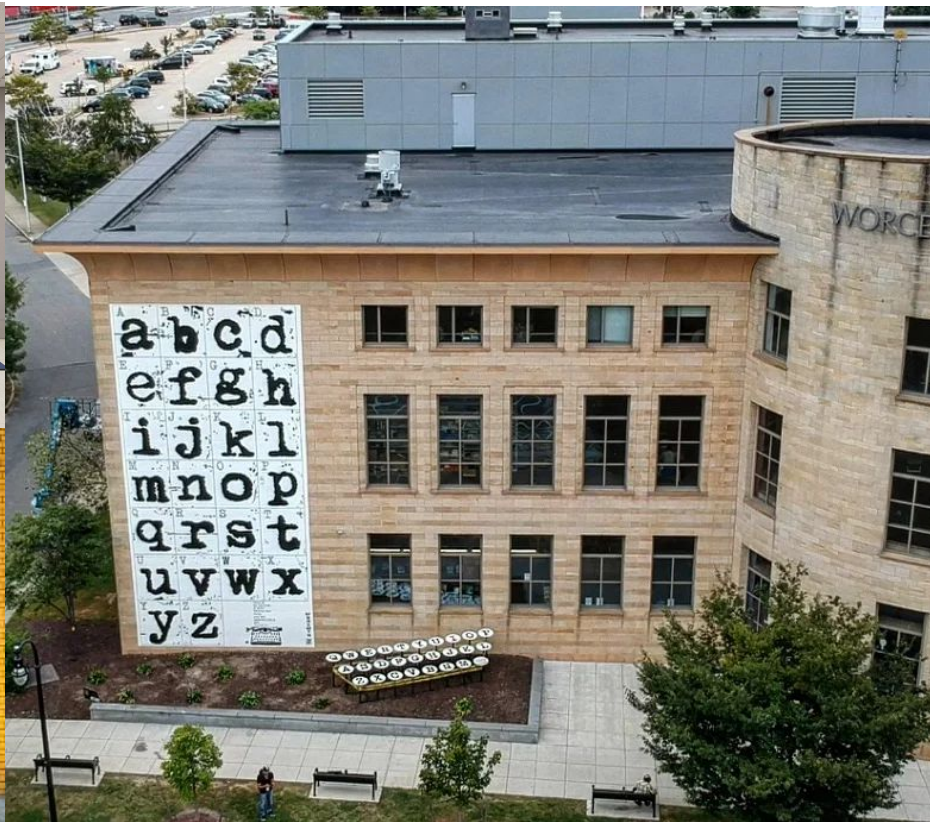


About WRDSMTH

WRDSMTH was born and raised in Cleveland, OH. He attended Miami University (Oxford, OH) and moved to his career in advertising. Soon after, WRDSMTH moved to Los Angeles where he began experimenting in street art, venturing out early mornings to put up his (what has become his insignia) typewriters with the page, inspirational and romantic piece. His work instantly became sought after and went viral, now can be seen around the world. WRDSMTH now resides in London, England and looks forward to making his mark in Cleveland, OH this August as part of the Graffiti HeArt "how do I love thee" tour!



WRDSMTH Art



WRDSMTH Art



'How do I love thee' Tour

- A Graffiti HeArt production
- A 'gift' to CLE and the community from Graffiti HeArt
- A series of 12+ small to medium tour pieces, and 3 WRDSMTH staple large pieces (*Greater Collinwood, Midtown, Warehouse District*) throughout Cleveland and Northeast Ohio
- Tour will become a placemaking opportunity, encouraging the community, street art enthusiasts, and visitors to explore the city and seek out the murals, becoming a tour experience and creating street art DESTINATION!
- A mix of original inspirational pieces, a few staple pieces (eg. "*Dream Bigger*", "*Aspire to Inspire others...*"), and the debut of some new work by WRDSMTH!
- Tour is inspired by Sylvia Paul, first-generation Greek American, that grew up in Cleveland, who gave the poem "how do I love thee" to her husband, Harry, in a love letter in the 1940's; Sylvia died in 1991 and her love for her husband, family, and Cleveland lives on through this curated mural tour.
- Funded by Graffiti HeArt and Cuyahoga Arts & Culture grant funding

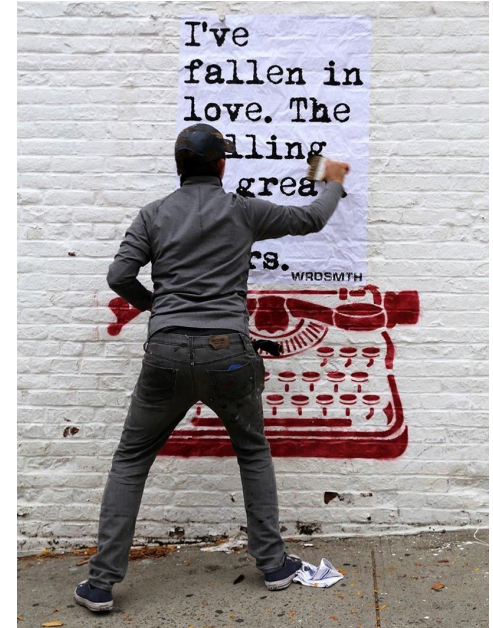
'How do I love thee' Tour Locations

The 'Staple' pieces of the tour:

- ★ Midtown - Michael Stanley tribute - "...white lines on the highway"
- ★ Warehouse District - Ghost mural debut! - "Fade Away"
- ★ Greater Collinwood - Five Points - 25'x25' - "Aspire to Inspire..."

'How do I love thee tour' Series:

1. **Cleveland Metropark** - Huntington Park Tunnel -
2. **Lakewood - Madison Park Scorekeeper Box** - 10'H x 10'W - **FINAL**
3. Cleveland Metro Park - TBD
4. **Tremont - Taphouse** - Pending art concept.
5. Tremont Library - TBD
6. **RTA - Tower City (3 inside spaces)** - **FINAL**
7. **Gateway District - Stone Fruit Coffee** - **FINAL**
8. **Campus District - Campus International School** - 5'H x 3 ½' W - **TBD**
9. **St. Clair Superior - Fischer & Jirouch** - 11' W x 12'H - **FINAL**
10. **St. Clair Superior - Graffiti HeArt Gallery & Museum** - **FINAL**
11. **Midtown - Willis Tower** - Size 15' - TBD
12. **Uptown - Cleveland Institute of Art** - 7'W x 10'H - **FINAL**
13. **RTA - E. 120th & Euclid** - Size TBD -
14. **Cleveland Hts - Coventry P.E.A.C.E. bld** - 5'H x 3 ½'W - **FINAL**



Michael Stanley Tribute
Midtown

MidTown "Michael Stanley" Tribute

2630 Payne Avenue, Cleveland



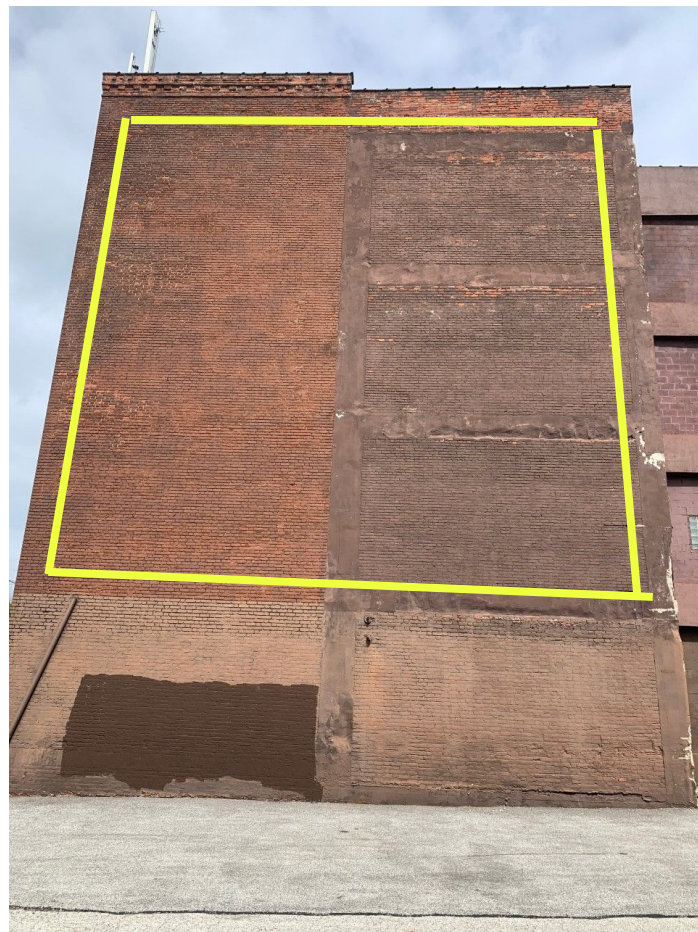
New warehouse space for the A&G Office Furniture, Inc. A&G headquarters, located at 2498 Superior Avenue, specializes in pre-owned office furniture, working with any style and budget, and has been in business for nearly 30 years.

This new warehouse space, located at 2630 Payne Avenue, will be the home of the new WRDSMTH tribute to Cleveland legend, Michael Stanley.

Michael Stanley Tribute

2630 Payne Avenue, Cleveland

48'W X 56'H (approx.) 40' x 55 mural



Michael Stanley Tribute

2630 Payne Avenue, Cleveland



Michael Stanley Tribute

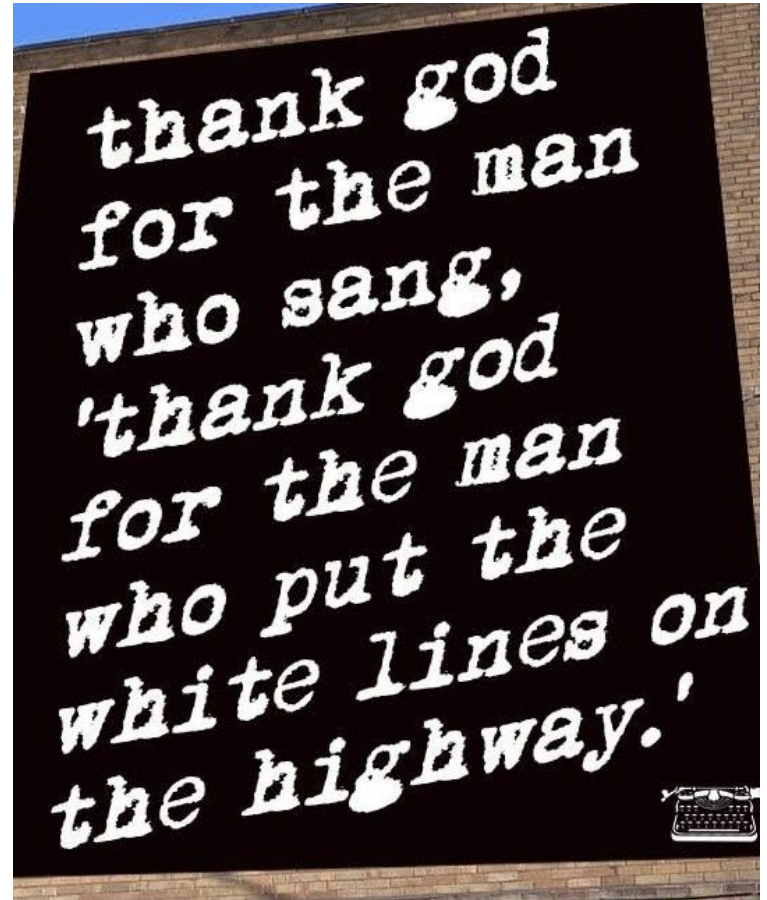
2630 Payne Avenue, Cleveland



Michael Stanley Tribute

*Being born and raised in Cleveland, it was impossible to not know who Michael Stanley was -- he is a legend. While still in school, I had a summer Internship at TV8 and assisted the creative team on the show PM Magazine. There, I had the opportunity to meet and work with Michael. He was a producer and on-air talent on the show and it turned out the legend was also a kind, affable, and likeable guy. Kind of cool I got to call a legend my friend. **WRDSMTH***

Years later, WRDSMTH comes home to Cleveland to pay tribute to legend Michael Stanley featuring lyrics from his 1980 hit song **Lover**. This piece will cover approx. 1,800 square feet in the Midtown Cleveland neighborhood.



Michael Stanley Tribute

2630 Payne Avenue, Cleveland



Cleveland City Planning Commission

Zoning Map Amendments



June 4, 2021

Zoning Map Amendments

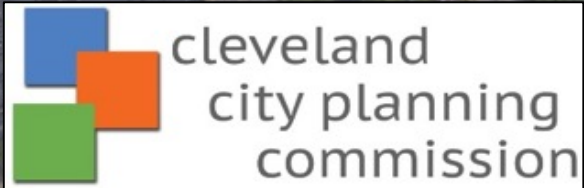


June 4, 2021

Ordinance No. xxx-2021(Ward 3/Councilmember McCormack):
Changing the Use, Area and Height Districts of parcels of land bounded by Detroit Avenue, the Cuyahoga River, Carnegie Ave and W. 25th Street and adding the Urban Form Overlay.

Map Change 2622

City Planning Commission
June 4, 2021





Detroit Ave

W. 25th Street

Franklin Ave

Columbus Road

Carter Road

Carter Road

Scranton Ave

Proposal

Changing the Use, Area and Height Districts of parcels of land bounded by Detroit Avenue, the Cuyahoga River, Carnegie Ave and W. 25th Street and adding the Urban Form Overlay. (Map Change 2622)

Purpose

- Facilitate the development of the new Irish Town Bend Park
 - Permit residential Uses by-right Flats
- Leverage public assets and investments to spur new private investment
- Ensure compatibility between new non-industrial and existing industrial uses
 - Ensure new developments are advancing the City's walkability goals

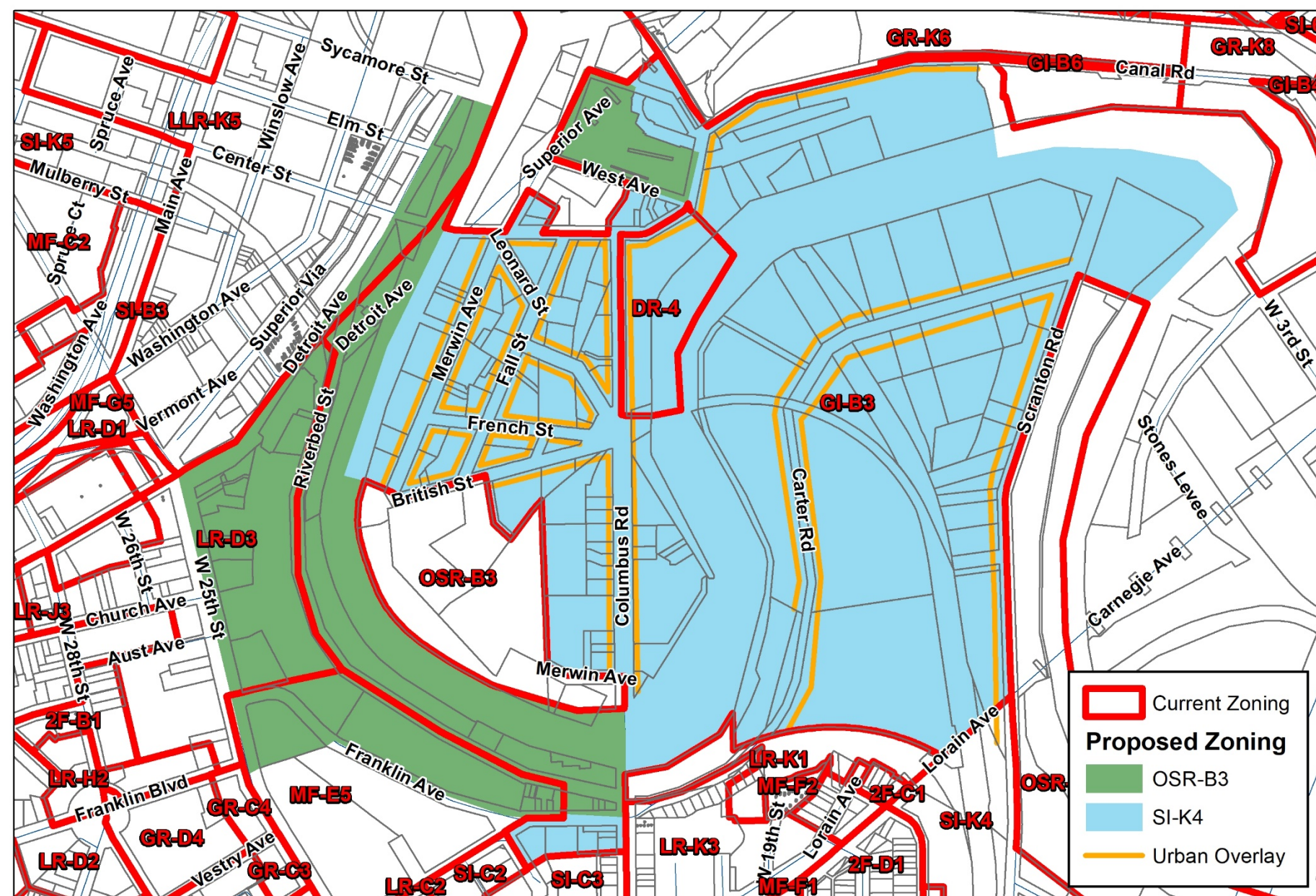






Proposed New Districts

Semi-Industry – K4
Open Space Recreation – B3

Proposed New Overlays

Urban Form Overlay

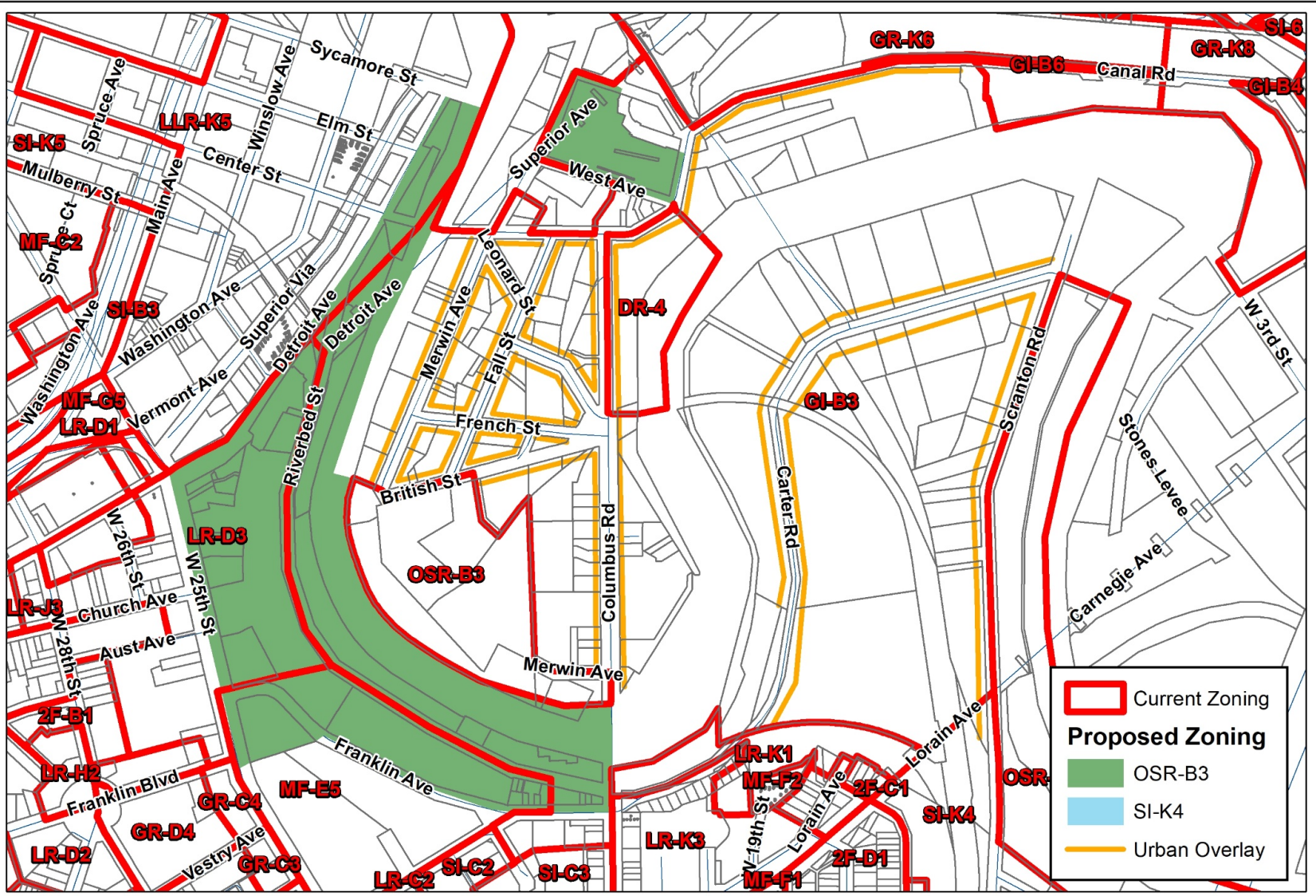


| | |
|---|----------------|
|  | Current Zoning |
| Proposed Zoning | |
|  | OSR-B3 |
|  | SI-K4 |
|  | Urban Overlay |

Map Change # 2622



Date: 6.2.2021



Changing to OSR- B3

- General Industry – B3
- Limited Local Retail -K5
- Local Retail – D3
- Multi- Family – E5

Map Change # 2622



Date: 6.2.2021

ANNOTATED VISION PLAN

- ① West 25th Street
- ② Franklin Gateway
 - Farmstand
 - Community Center
- ③ Ohio City Farm
- ④ Playground
- ⑤ Welcome + Cultural Center
 - Bourke-White Overlook
- ⑥ Sledding Meadow
- ⑦ Canopy Walk/Bridge Connection
- ⑧ Active Recreation Gateway
- ⑨ Riparian Gardens
- ⑩ Archaeological Site
- ⑪ Social Gateway
- ⑫ Red Line Greenway Connection
- ⑬ Bridge Street Stair
- ⑬ Maritime Theater
 - Lederer Pavilion
 - Industrial Artifacts/Art
 - Sloped Lawn With Views

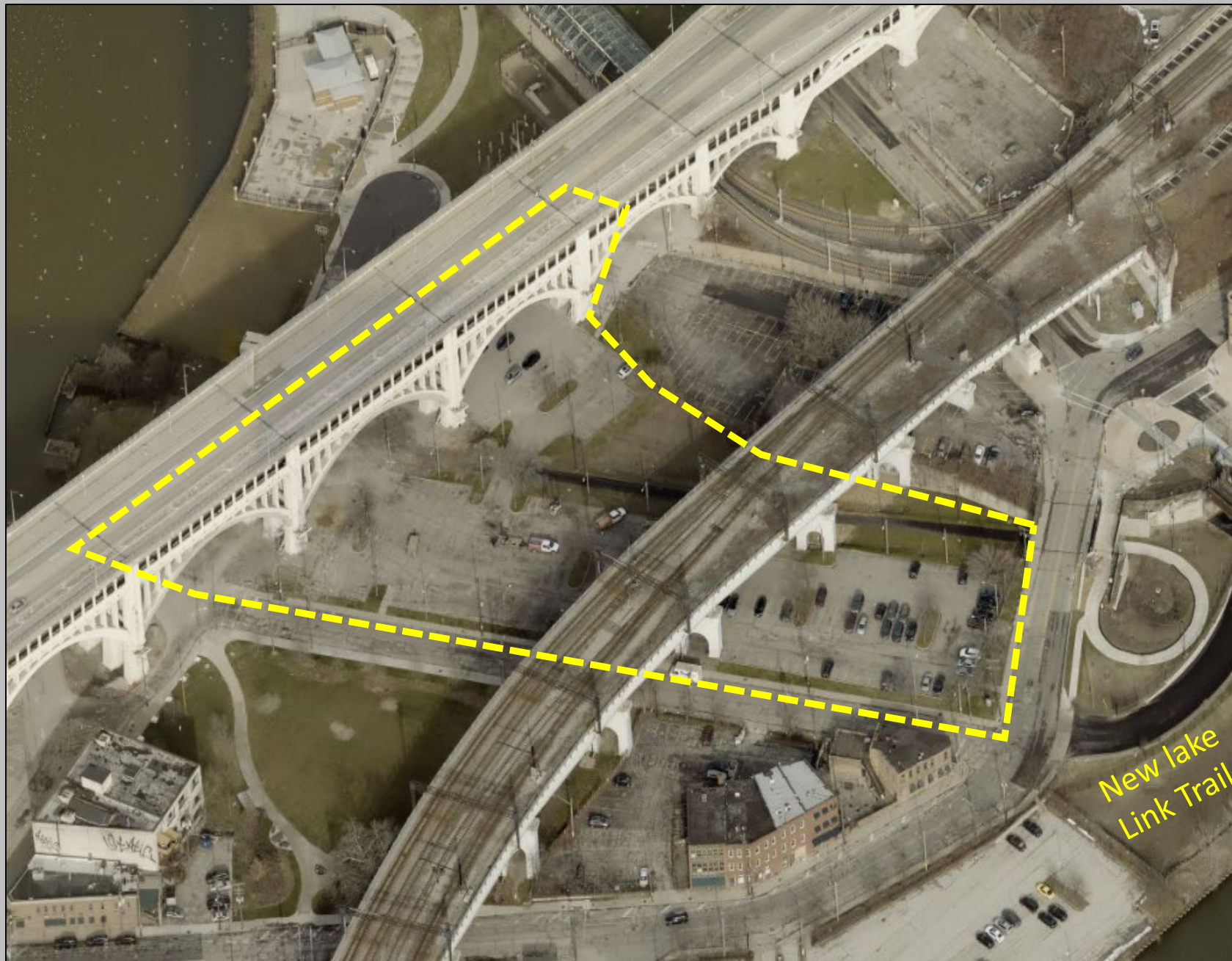




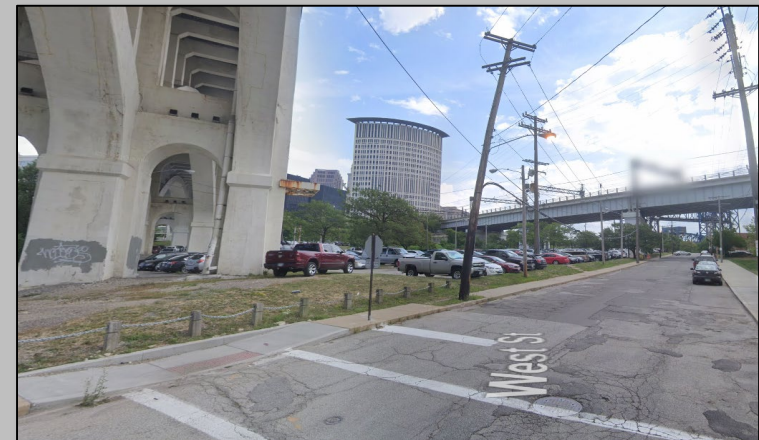
New Lake Link Trail

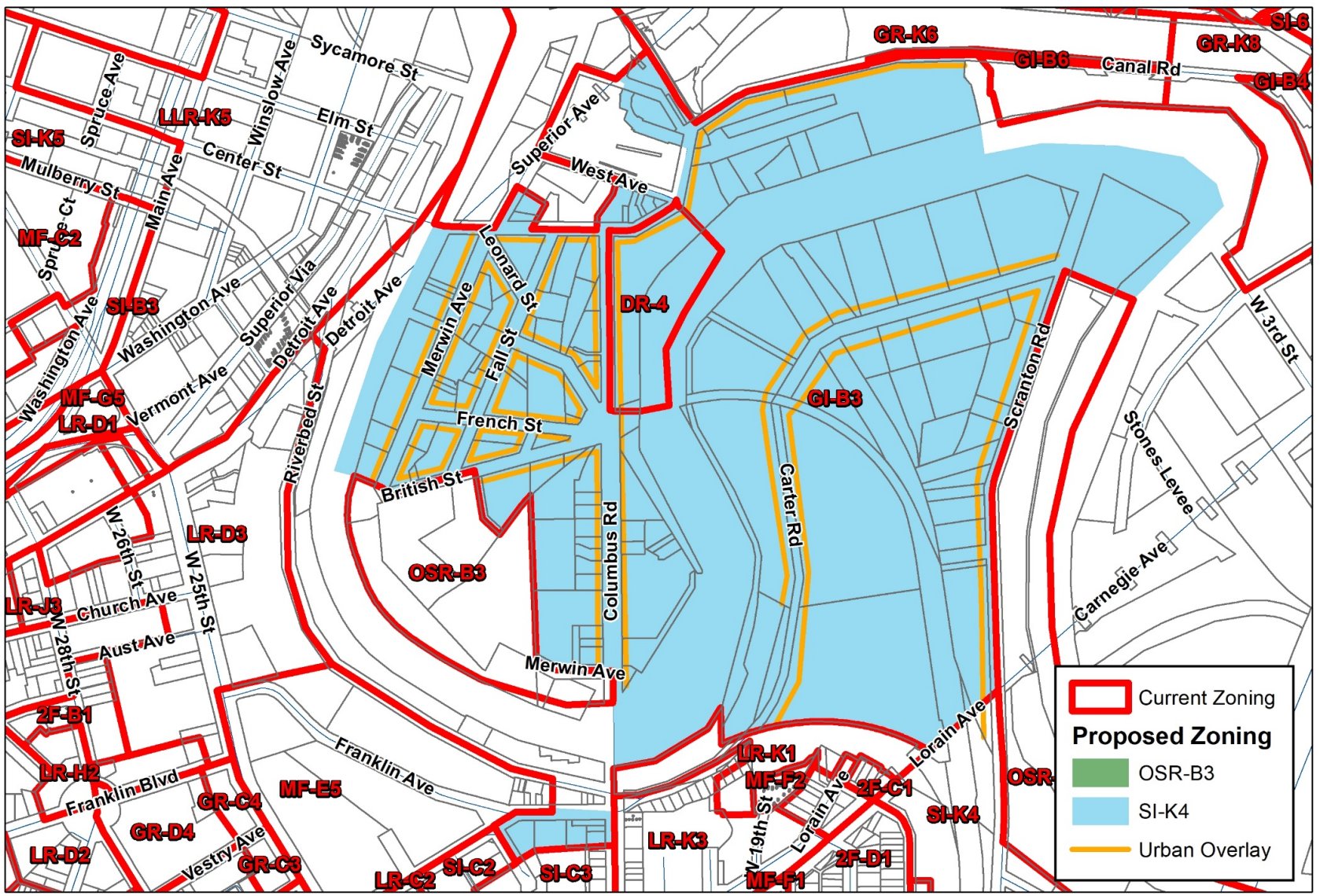


Heritage Park



City owned parcel
Future phase of Canal Basin Park





Changing to SI-K4

General Industry – B3
 Downtown Residential - 4

Map Change # 2622

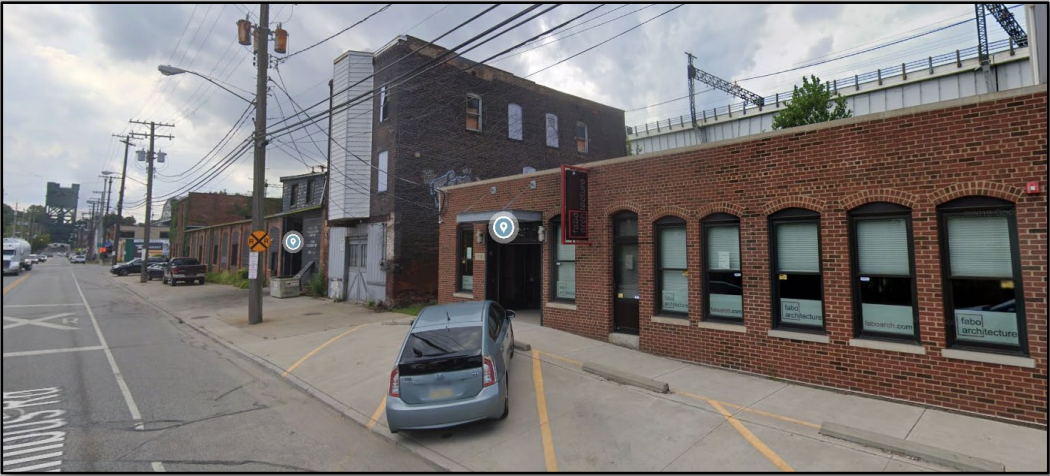
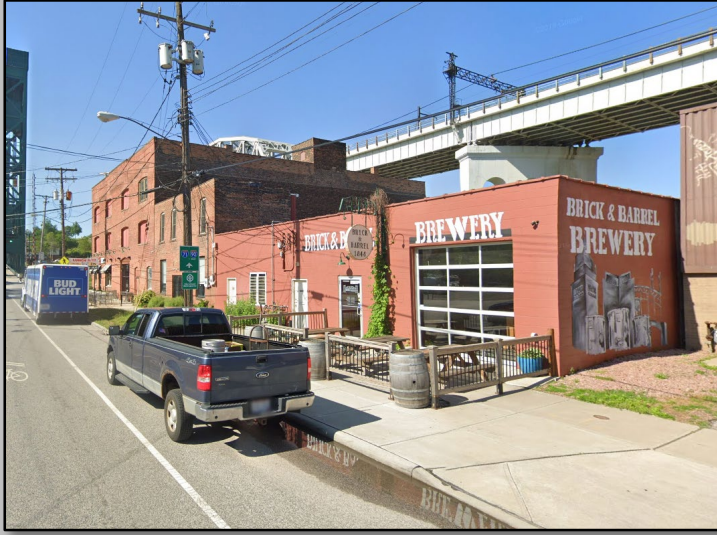
Cleveland City Planning Commission

601 Lakeside Ave. Cleveland, OH 44114



Date: 6.2.2021

Columbus Road Peninsula



Carter Road



THUNDERBIRD
A NEW MIXED-USE NEIGHBORHOOD IN CLEVELAND

DEVELOPMENT OPPORTUNITIES UP TO 12 ACRES
FOR SALE | FOR LEASE | BUILD-TO-SUIT

CONTACT EXCLUSIVE AGENTS:
JOSEPH W. KHOURI +1 216 658 6120 joseph.khour@cbre.com
KEVIN MOSS +1 216 363 6453 kevin.moss@cbre.com

MASTER DEVELOPED IN PARTNERSHIP BY
FRID GIS EAST WEST ALLIANCE J ROC DEVELOPMENT
CBRE

Scranton Road



Urban Form Overlay

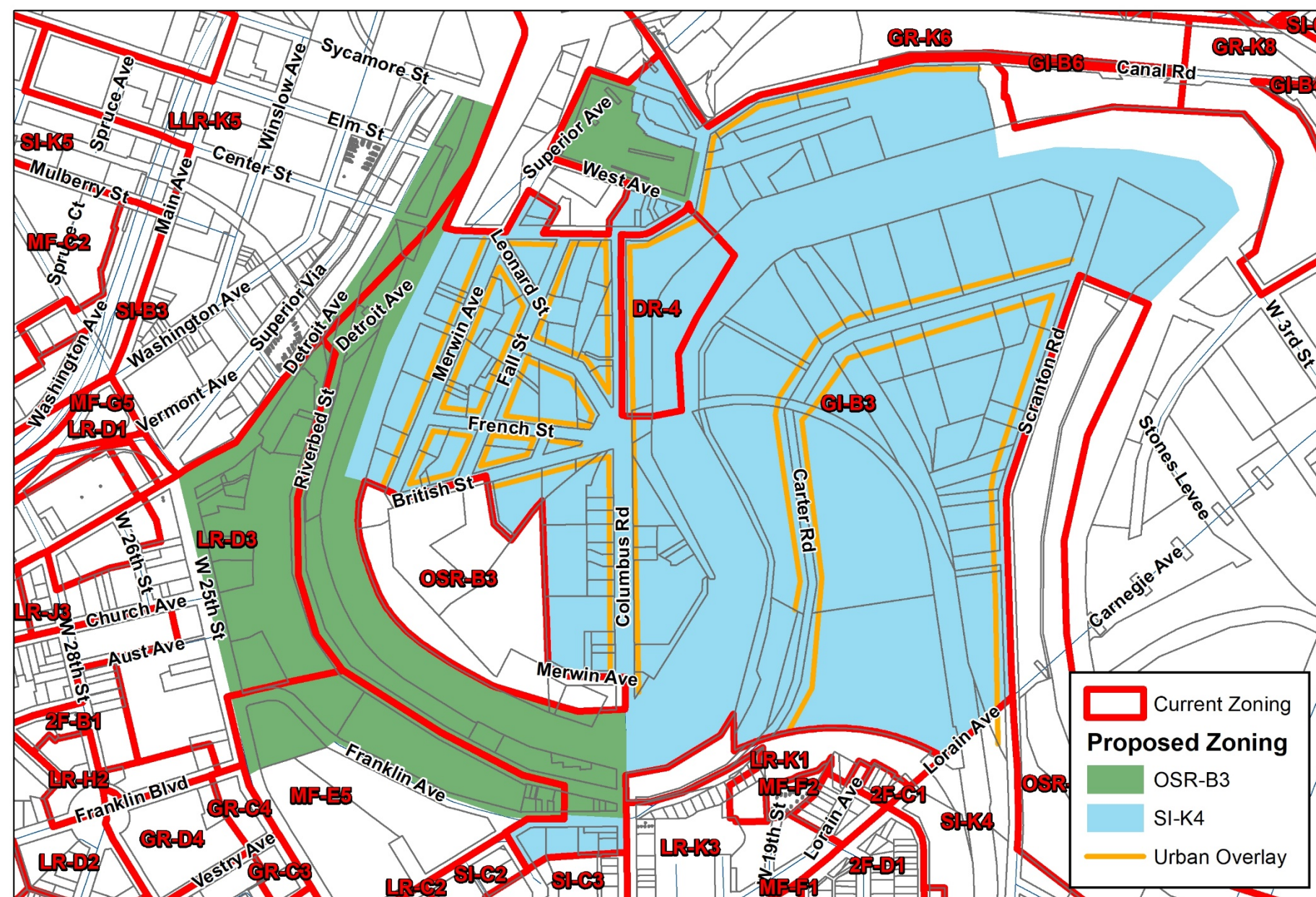
Goals

- Support walkable neighborhoods & mixed-use districts
- encourage alternative transit methods
- Establish strong urban form



Purpose

- Facilitate the development of the new Irish Town Bend Park
- Permit residential Uses by-right Flats
- Leverage public assets and investments to spur new private investment
- Ensure compatibility between new non-industrial and existing industrial uses
- Ensure new developments are advancing the City's walkability goals



Map Change # 2622

Cleveland City Planning Commission

601 Lakeside Ave. Cleveland, OH 44114



Date: 6.2.2021

Cleveland City Planning Commission

Planned Unit Development



June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Telecommunication Towers



June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

New Townhouse Development In a 2-Family District



June 4, 2021

Townhouse Development in a 2-Family District

June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Lot Consolidation / Splits



June 4, 2021

Lot Consolidation / Split



June 4, 2021

For PPN# 007-01-071

Project Address: 4210 Orchard Avenue

Project Representative: Jeff Snacki, Property Owner

Note: this project was Tabled by the Planning Commission on May 21, 2021.

LOT SPLIT PROPOSAL FOR PARCEL #007-01-071

Located at 4210 Orchard Avenue

Cleveland, Ohio 44113

Property Owner: Jeff Snacki (216)632-0395

REASONS FOR THE REQUESTED PARCEL SPLIT

4210 ORCHARD AVENUE
CLEVELAND, OHIO 44113

- I purchased this property in 2015 with the intention of restoring both the house and the church.
- While in the process of fixing up the house I have been unsuccessful in obtaining funding for repairing the structurally damaged church.
- The church had been structurally damaged during the building of Orchard School and the parishioners moved out at this point.
- The church is a beautiful building that needs the right team and funding to complete the job. If allowed, I have decided to split the parcel in order to save the church but keep my house.
- I have found a buyer/ developer for the church that is very interested in saving the building and turning it into 4 residential units. I see this as an exciting opportunity to save a venerable structure in need of immediate structural repair and turn it into a place that will enrich the neighborhood.

Current Plat approved 1999

The current parcel is divided into two sub-lots that divide the church building in half.

CERTIFICATION

THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORDED PLATS, RECORDED DEEDS AND CITY SURVEY RECORDS. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. BEARINGS USED HEREON ARE BASED ON THE CLEVELAND REGIONAL GEODETIC SYSTEM AND, ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

Joseph Gutoskey, P.E.
JOSEPH GUTOSKEY, P.E. 7567



WE, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND SURVEY, DO HEREBY ASSENT TO AND ADOPT THIS CONSOLIDATION AND LOT SPLIT OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING.

BAILEY ORCHARD DEVELOPMENT LTD., LLC

BY: *William V.P. New Village Land, Member*

Connie Dennis
WITNESS *Connie Dennis*
WITNESS *...*

STATE OF OHIO }
COUNTY OF CUYAHOGA } SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED BAILEY ORCHARD DEVELOPMENT LTD., LLC BY: *Russell Belysch* ITS MEMBER WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID BAILEY ORCHARD DEVELOPMENT LTD., LLC. IN WITNESS WHEREOF I HAVE SET MY HAND AND OFFICIAL SEAL AT Cleveland, OHIO, THIS 19 DAY OF October, 1999.

Rae S. Shea
NOTARY PUBLIC

RAE S. SHEA
NOTARY PUBLIC, STATE OF OHIO
Recorded in Cuyahoga County
My Comm. Expires Feb. 12, 2001



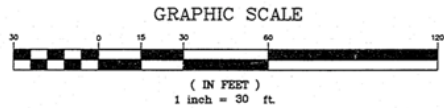
Plat No. 18-24

RECEIVED FOR RECORD
Recorded in Cuyahoga
County Records

On November 4 1999
At 11:49 A.M.
File # 199911040583
\$ 21.60
Vol. 302 Pg. 60
COUNTY RECORDER

FRANK RUSSO, COUNTY AUDITOR
APPROVED OWNERSHIP, ONLY, OF

PERM. PARCEL NO.
007-01-068/069/070
BY: *Frank Russo* 11-4-99
Deputy Auditor



APPROVALS

THIS PLAT IS HEREBY APPROVED BY THE PLANNING DIRECTOR OF CITY OF CLEVELAND THIS 30 DAY OF November, 1999.

Earl W. Jackson
FOR THE CITY PLANNING DIRECTOR PER B.O.Z.A. 99-244

THIS PLAT IS HEREBY APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND THIS 20 DAY OF November, 1999.

Richard
FOR THE CITY PLATTING COMMISSIONER PER B.O.Z.A. 99-244

PARCEL NO. 007-01-068/069/070
CONVEYANCE IS IN COMPLIANCE WITH SEC. 319.202 O.R.C.
PAID

10V - 4 1999
Conveyance Fee 21.60 Receipt No. 265610
TYPE ... ARMS LENGTH YES () NO ()
FRANK RUSSO, Cuyahoga County Auditor By: *Frank Russo* Deputy

This Survey Plat complies with Cuyahoga County
Conveyance Standards and is hereby approved.
Plat Vol. _____ Pg. _____
T.M. _____ Pg. _____
Agent *W.P.B.* Date 11-4-99

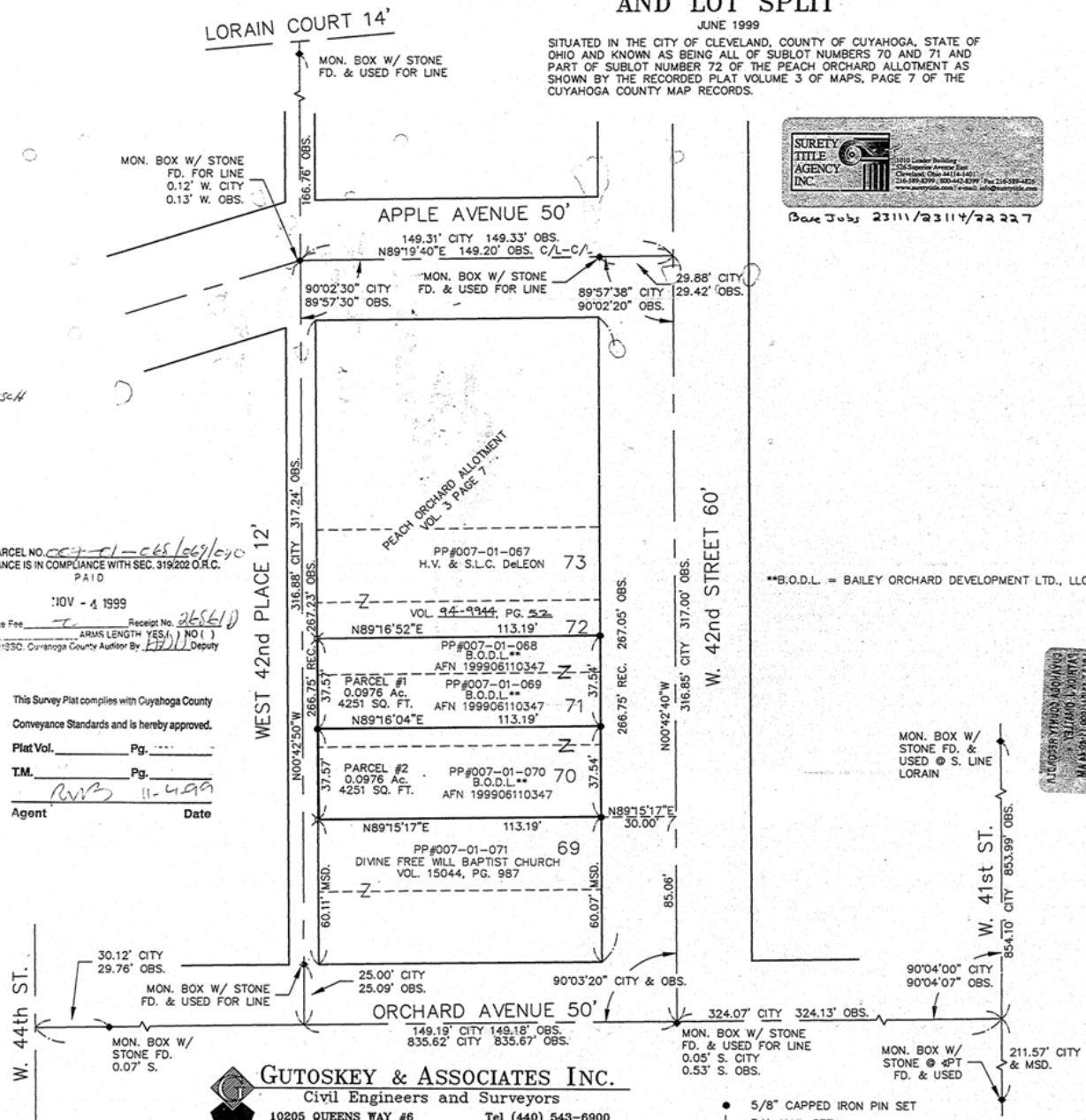
PLAT OF CONSOLIDATION AND LOT SPLIT

JUNE 1999

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO AND KNOWN AS BEING ALL OF SUBLot NUMBERS 70 AND 71 AND PART OF SUBLot NUMBER 72 OF THE PEACH ORCHARD ALLOTMENT AS SHOWN BY THE RECORDED PLAT VOLUME 3 OF MAPS, PAGE 7 OF THE CUYAHOGA COUNTY MAP RECORDS.



Base Jobs 23111/23114/22 227



**B.O.D.L. = BAILEY ORCHARD DEVELOPMENT LTD., LLC

MON. BOX W/
STONE FD. &
USED @ S. LINE
LORAIN

ALL CUYAHOGA COUNTY RECORDS
RECORDED IN THE
CITY OF CLEVELAND
OFFICE OF THE COUNTY RECORDER
11000 LORAIN ST., CLEVELAND, OHIO 44102
TEL: 216-521-1000
FAX: 216-521-1000

GUTOSKEY & ASSOCIATES INC.
Civil Engineers and Surveyors
10205 QUEENS WAY #6 Tel (440) 543-6900
CHAGRIN FALLS, OHIO 44023 Fax (440) 543-7176

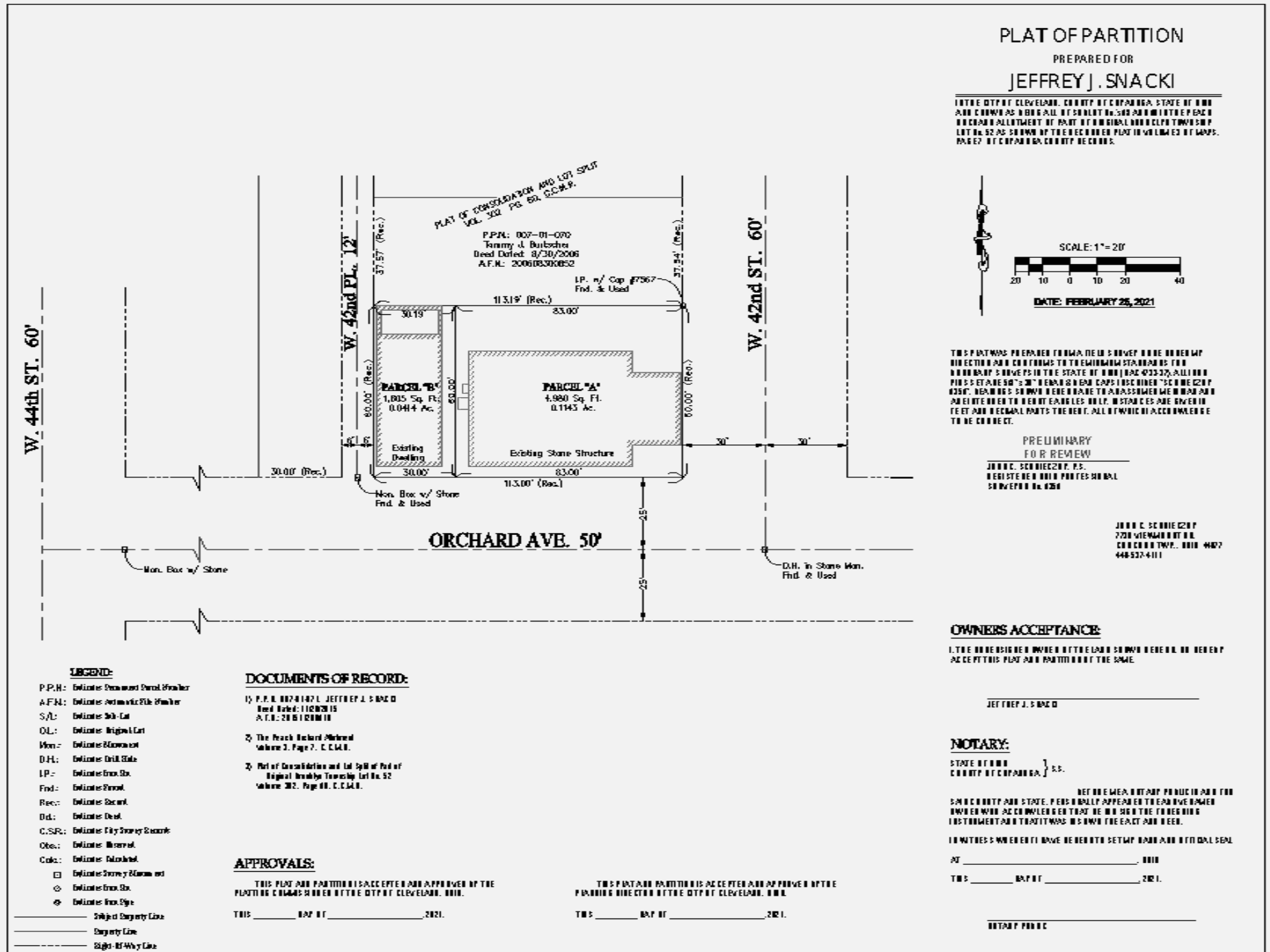
- 5/8" CAPPED IRON PIN SET
- ▲ P.K. NAIL SET
- ✦ DRILL HOLE SET

CONTRACT NO.
98-981

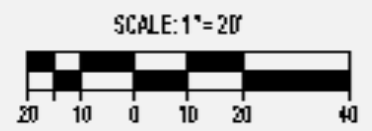
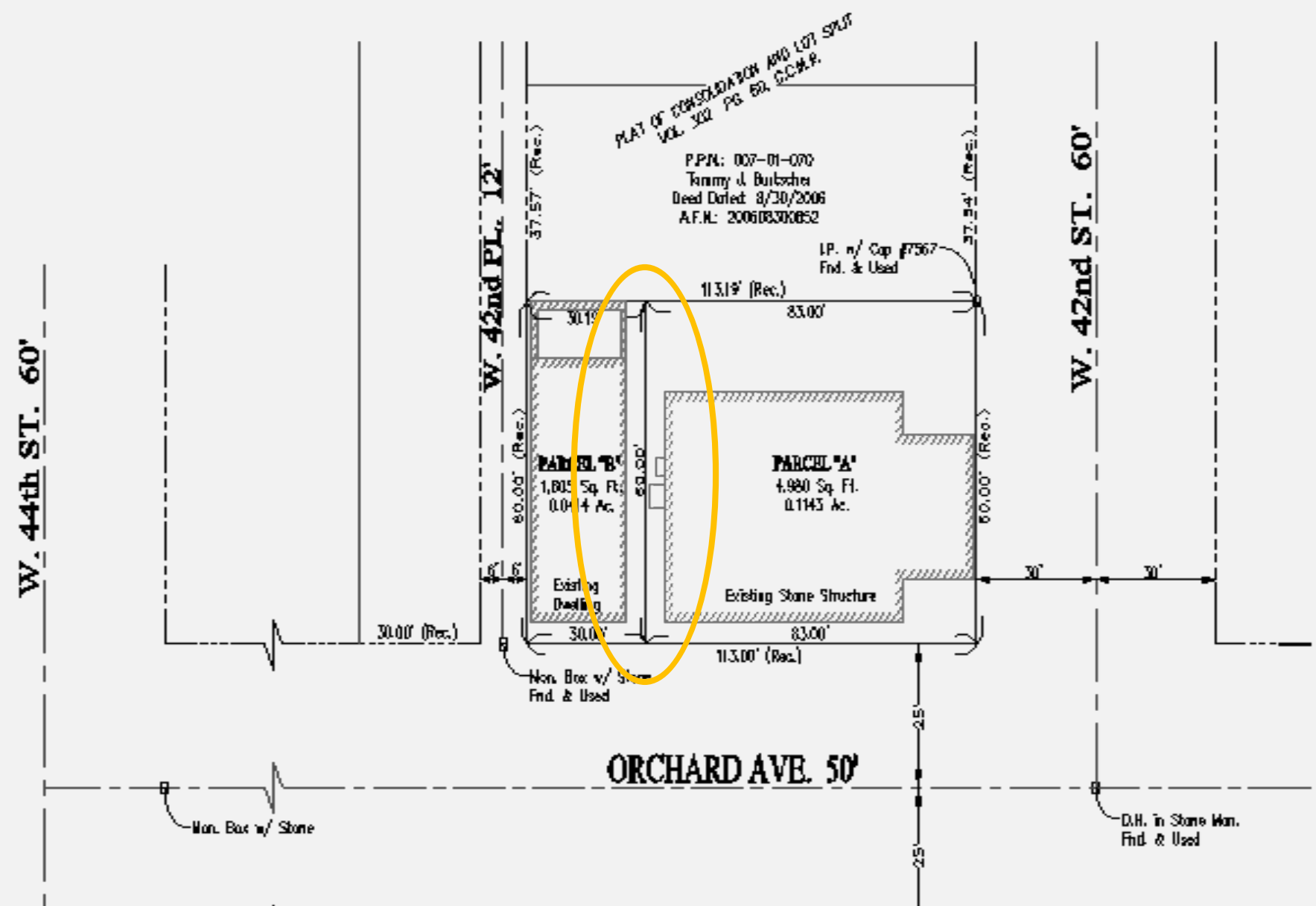
A-2478

Plat of Partition currently under consideration for lot split (2021)

The new proposed line will be between the house and church.



IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO
 AND SHOWN AS BEING ALL OF LOT NO. 543 AND PART OF THE POND
 AND GRASS ALLOTMENT OF PART OF ORIGINAL CUYAHOGA TOWNSHIP
 LOT NO. 52 AS SHOWN BY THE RECORDED PLAT IN VOLUME 67 OF MAPS,
 PAGE 7 OF CUYAHOGA COUNTY RECORDS.



DATE: FEBRUARY 26, 2021

THIS PLAN WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY
 DIRECTOR AND CONFORMS TO THE EXISTING STANDARDS FOR
 SURVEYING SURVEYS IN THE STATE OF OHIO (RAC 4733-37). ALL
 POINTS SET ARE 5/8" x 3/4" IRON OR LEAD CAPS INSCRIBED "S" OR "N" 1207
 4250". READINGS SHOWN WERE MADE TO A SMOOTH WEIR AND
 ADJUSTED TO MEAN TIDES ONLY. DISTANCES ARE GIVEN IN
 FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ACKNOWLEDGED
 TO BE CORRECT.

PRELIMINARY
 FOR REVIEW

JOHN C. SCHIECZNY, P.S.
 REGISTERED PROFESSIONAL
 SURVEYOR No. 4261

JOHN C. SCHIECZNY
 7720 WENHAM DR. N.E.
 CLEVELAND TWP., OHIO 44137
 440-527-4111

Church Aerial
with downtown
Cleveland view



Sideview of church
from Orchard
Avenue



Sideview from the Orchard School of Science yard, showing the house and church to be sub-divided.



Front views of
the church from
West 42nd St.



This is the current view of the shared driveway between the church and the house.

Attached to the house, there is an original one car garage that is very small, it is currently used as storage because most modern cars will not fit in it.

If allowed, the shared driveway will be part of the subdivided property belonging to the church. I am open to an easement of the driveway if necessary.



Attached garage(House)

Divine Free Will Baptist Church

4218

4214

2116

2130

nd Pl

W 42nd Pl

W 42nd Pl

W 42nd Pl

W 42nd St

W 42nd St

W 42nd St

4210 Orchard Ave,
Cleveland, OH 44113

HOUSE

CHURCH

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Oro

Church and Orchard School



Orchard School

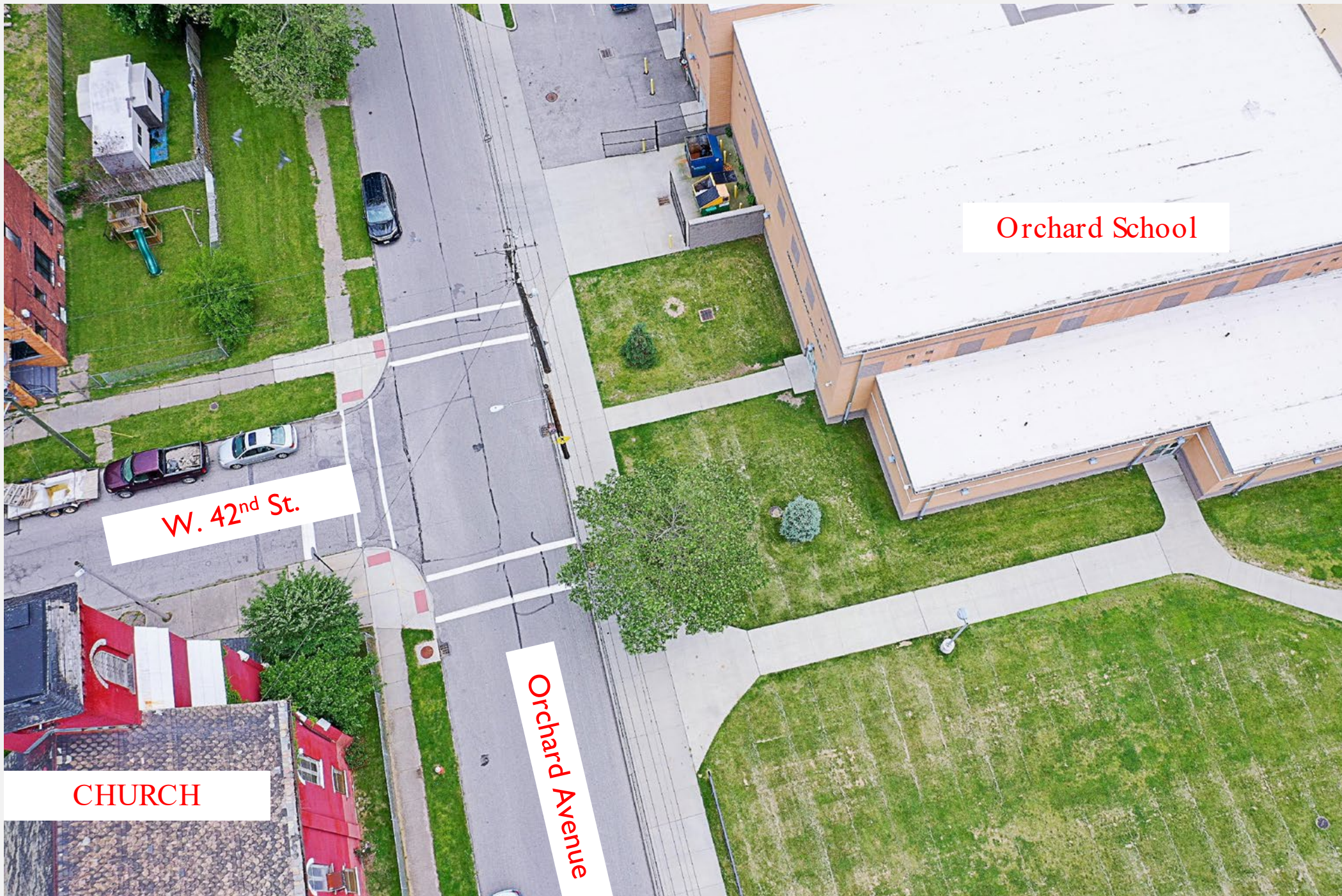
Orchard Avenue

W. 42nd St.

CHURCH

HOUSE

Church and Orchard School



Orchard School

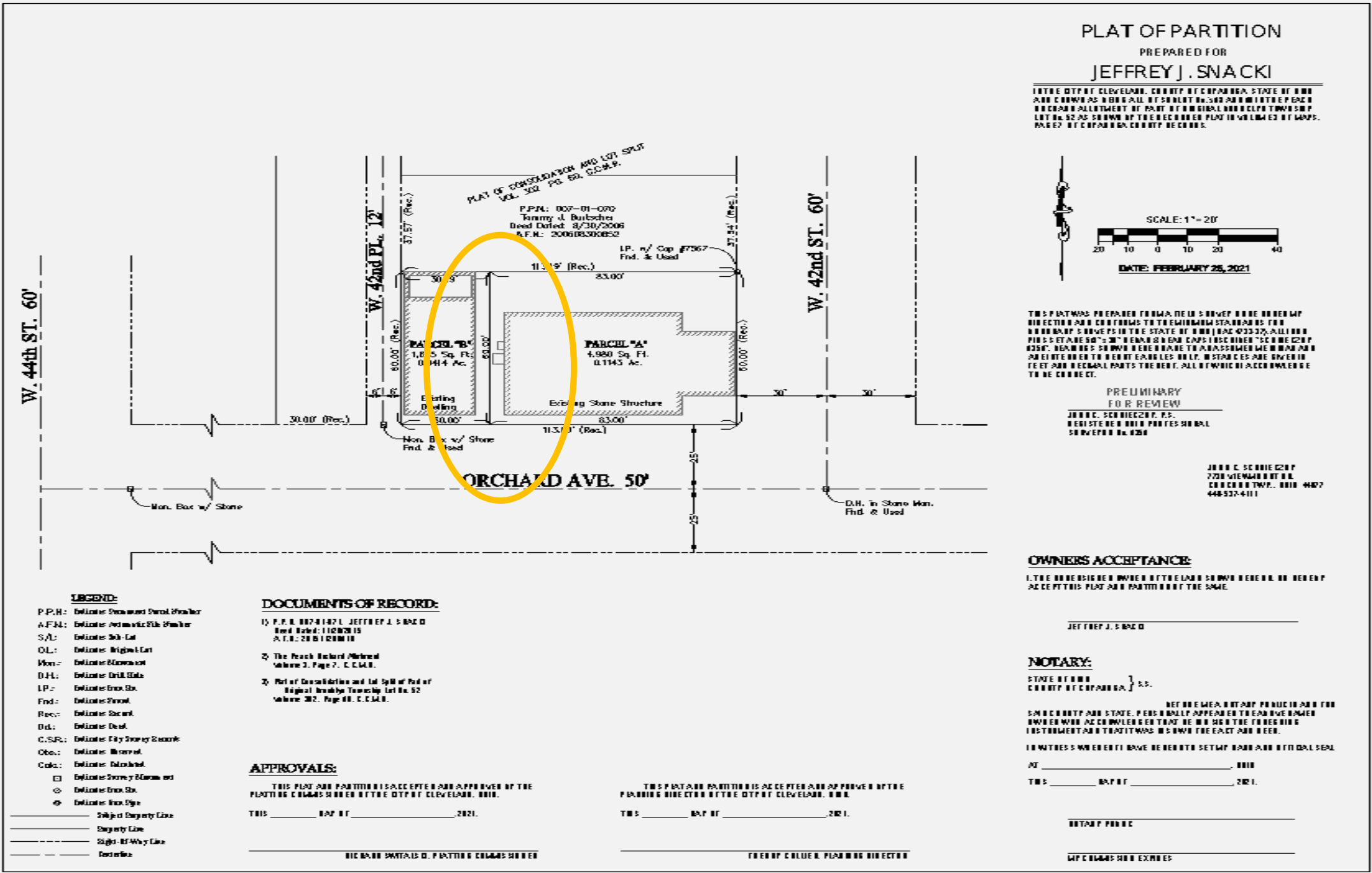
W. 42nd St.

Orchard Avenue

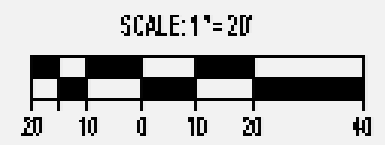
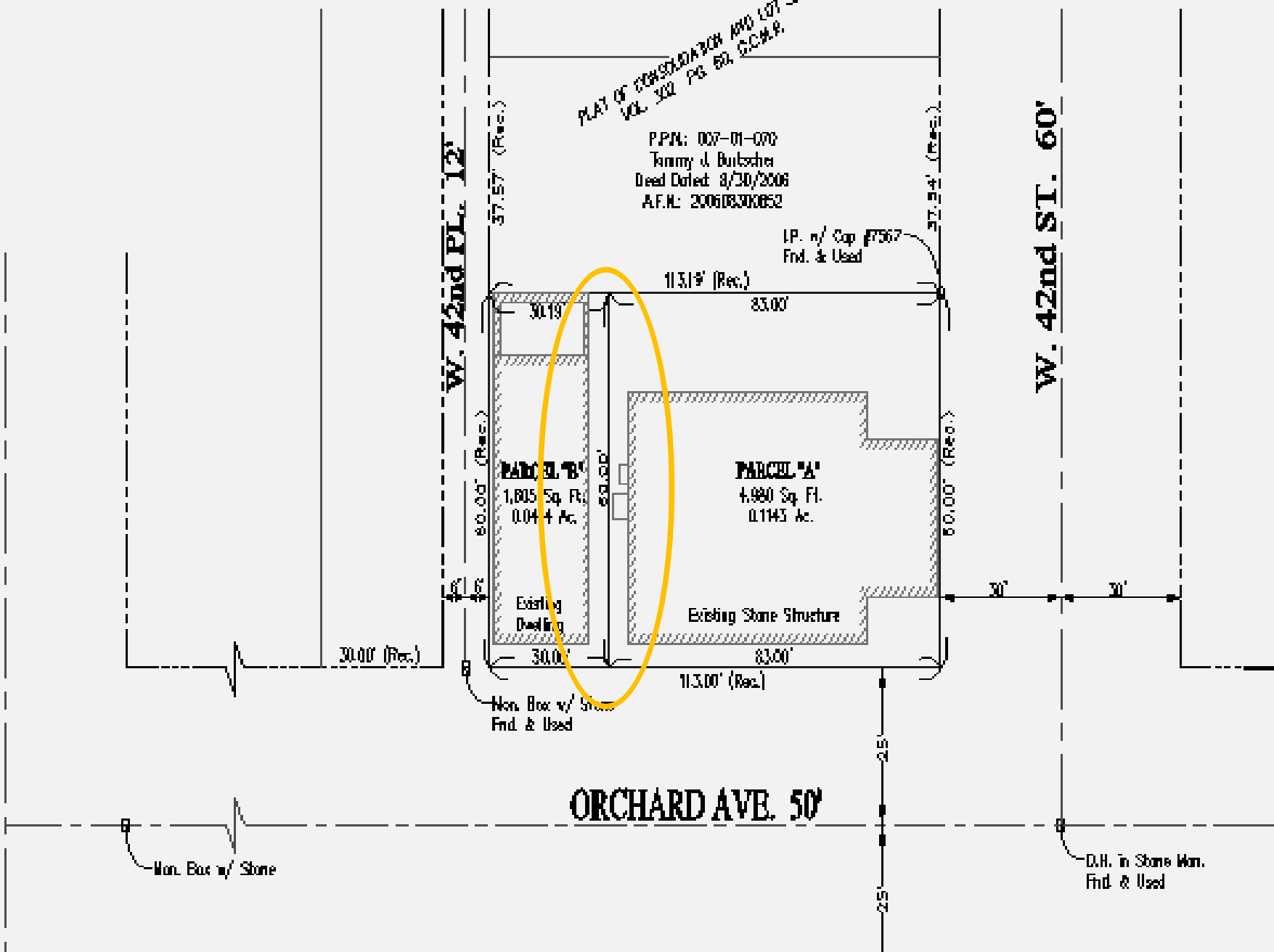
CHURCH

Plat of Partition
currently under
consideration
for lot split
(2021)

The new
proposed line
will be between
the house and
church.



W. 44th ST. 60'



DATE: FEBRUARY 26, 2021

THIS PLAN WAS PREPARED FOR A FIELD SURVEY TO BE CONDUCTED BY THE SURVEYOR AND CONFORMS TO THE MINIMUM STANDARDS FOR SURVEYING PRACTICES IN THE STATE OF IOWA (IAC 403-37), ALL IOWA SURVEYING PRACTICES SHALL BE IN ACCORDANCE WITH IOWA SURVEYING PRACTICES. HEADINGS SHOWN HEREIN HAVE TO ADJUST WHEN MEASUREMENTS ARE MADE TO NEAREST ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ASSUMED TO BE CORRECT.

PRELIMINARY
FOR REVIEW

JOHN C. SCORIEZOFF, P.S.
REGISTERED PROFESSIONAL
SURVEYOR No. 0254

JOHN C. SCORIEZOFF
7700 VIEWMAN DR. S.E.
COURTOWN, IOWA 4627
448-937-4111

FOR FURTHER QUESTIONS AND
INFORMATION

Please contact Jeff Snacki (216)632-0395

jeffsnacki@yahoo.com

Cleveland City Planning Commission

Conditional Use Permit



June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Mandatory Referrals



June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Administrative Approvals



June 4, 2021

Administrative Approvals

June 4, 2021



Ordinance No. 355-2021(Ward 4/Councilmember Bishop): To change the name of the Luke Easter Park's All-Star Field to "CC Sabathia Field at Luke Easter Park."

Administrative Approvals



June 4, 2021

Ordinance No. 356-2021(Ward 8/Councilmember Polensek): Authorizing the Director of Public Works to execute deeds of easement granting to The East Ohio Gas Company dba Dominion Energy Ohio certain easement rights in property located at Grovewood Avenue and East 161st Street within Humphrey Park; and declaring that the easement rights granted are not needed for public use.

Administrative Approvals



June 4, 2021

Ordinance No. 401-2021(Ward 5/Councilmember Gray): To appropriate property for the public purpose of constructing the new City of Cleveland police headquarters along Opportunity Corridor west of East 75th Street.

Administrative Approvals

June 4, 2021



Ordinance No. 403-2021(Ward 9/Councilmember Conwell): Designating East 124th Street between Superior Avenue and Auburndale Avenue with a secondary and honorary designation of “Jane B. Sheats Way.”

Administrative Approvals

June 4, 2021



Ordinance No. 407-2021(Ward 3/Councilmember McCormack; Ward 17/Councilmember Slife): Determining the method of making the public improvement of inspecting, maintaining, repairing, and replacing roofs or roof systems at Cleveland Hopkins International Airport and Burke Lakefront Airport; authorizing the Director of Port Control to enter into one or more public improvement requirement contracts for the making of the improvement for a period of two years, with two one-year options to renew, the first of which requires additional legislative authority.

Administrative Approvals

June 4, 2021



Ordinance No. 408-2021(Ward 17/Councilmember Slife): Determining the method of making the public improvement of performing structural repairs to the Smart Parking Garage at Cleveland Hopkins International Airport and any other needed enhancements, including but not limited to, concrete sealing, to preserve and extend the useful life of the structure; and authorizing the Director of Port Control to enter into one or more public improvement contracts for the making of the improvement.

Administrative Approvals

June 4, 2021



Ordinance No. 412-2021(Ward 3/Councilmember McCormack): Authorizing the Director of Economic Development to enter into a Tax Increment Financing Agreement with Mavrek Schiff Ventures LLC, and/or its designee, to fund eligible project costs and project debt for the financing of the TREO Development Project to be located at 2461 West 25th Street; to provide for payments to the Cleveland Metropolitan School District; and to declare certain improvements to real property to be a public purpose.

Cleveland City Planning Commission

Design Review Cases



June 4, 2021

East Design Review Case

June 4, 2021



EAST2021-015 – GCRTA Salt Storage Facility: Seeking Final Approval

Project Address: 2240 Woodhill Road

Project Representative: Kenneth Folk



Project 18.71 - Salt Storage Facilities
East – Woodhill District
2240 Woodhill Road

Cleveland Planning Commission
June 4, 2021

Project Requirements

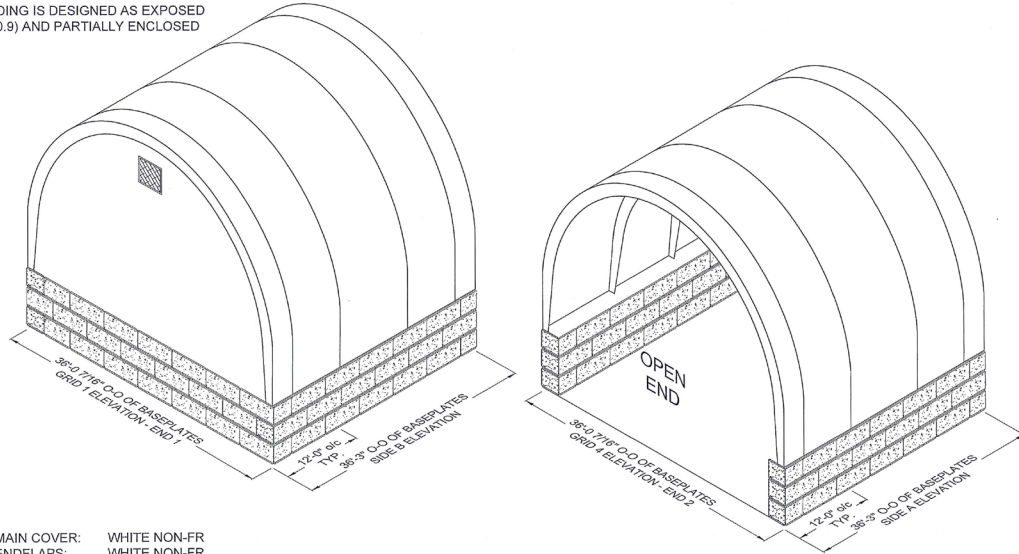
- Construct a structure that holds 200 tons of bulk rock salt
- Must be located at an RTA owned site on the East Side of Cleveland
- Must follow EPA requirements for containment of runoff
- Must be constructed no later than November 1, 2021

Proposed Structure

- 35'x35' Tension Fabric Membrane Structure
 - Tubular Gable Truss Frame
 - Precast Concrete Block Wall Foundation
 - Concrete Floor & Apron
 - Catch Basin & Sand Filter for Runoff Containment
- \$140,000 Cost
- Approximately 5000 SF Area

Salt Storage Structure Plan

NOTE:
BUILDING IS DESIGNED AS EXPOSED
(Ce=0.9) AND PARTIALLY ENCLOSED

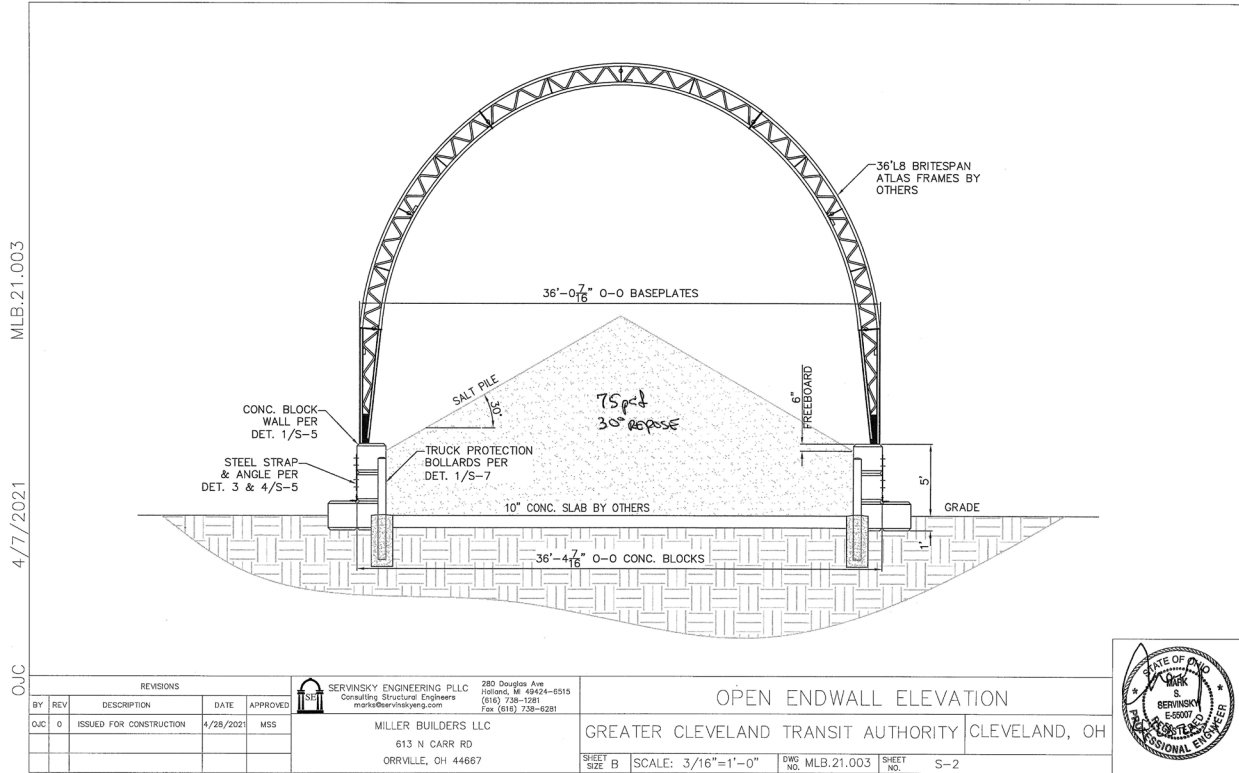


MAIN COVER: WHITE NON-FR
ENDFLAPS: WHITE NON-FR
ENDWALL #1: WHITE NON-FR

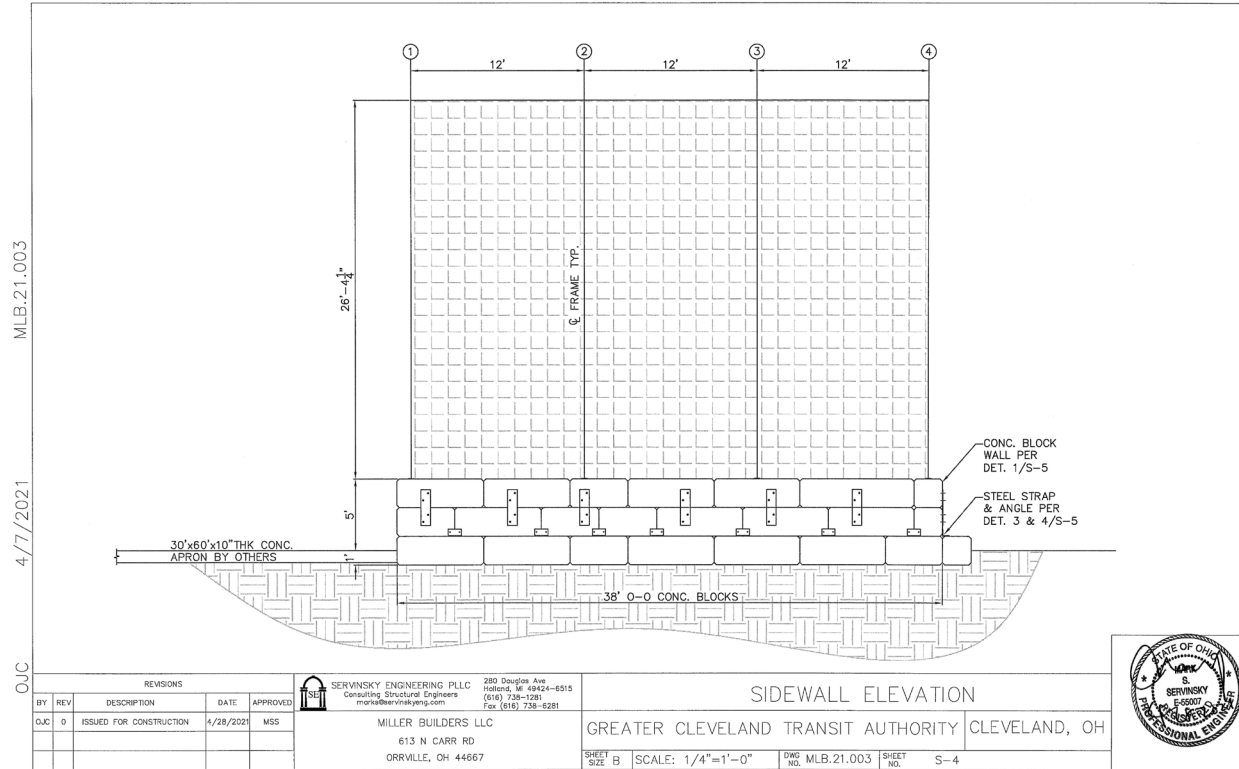
FOUNDATION DESIGNED
& SUPPLIED BY OTHERS

| | | | | | | | |
|---|-----------|------|-------------------------|-------------|--|--|---|
|  <p>TF: 800-407-5846 www.britespanbuildings.com</p> | REV # | CR # | DESCRIPTION | DATE | DEALER: MILLER BUILDERS LLC 813 NORTH CARR ROAD ORRVILLE, OH, 44667 | CUSTOMER: GCRTA - BUILDING #1 2240 WOODHILL ROAD CLEVELAND, OH, 44104 |  |
| | 0 | | ISSUED FOR CONSTRUCTION | 23.APR.2021 | | | |
| THIS DRAWING IS PROPERTY OF BRITESPAN BUILDING SYSTEMS INC. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED. | DRAWN BY: | | | | PROJECT: | ORDER ID: | DRAWING TITLE: |
| | NLW | | | | ATLAS 18.1 36L8 x 36' 12' oc | SO# 8264 | PROJECT LAYOUT |
| CHECKED BY: | | | | | WIDTH/MOUNT #/FABRIC/HSS/HSSCROP: | SHEET NUMBER: | PAGE NUMBER: |
| JLK | | | | | 36-L8-220-12-0 | ISO-1 | 04 /13 |

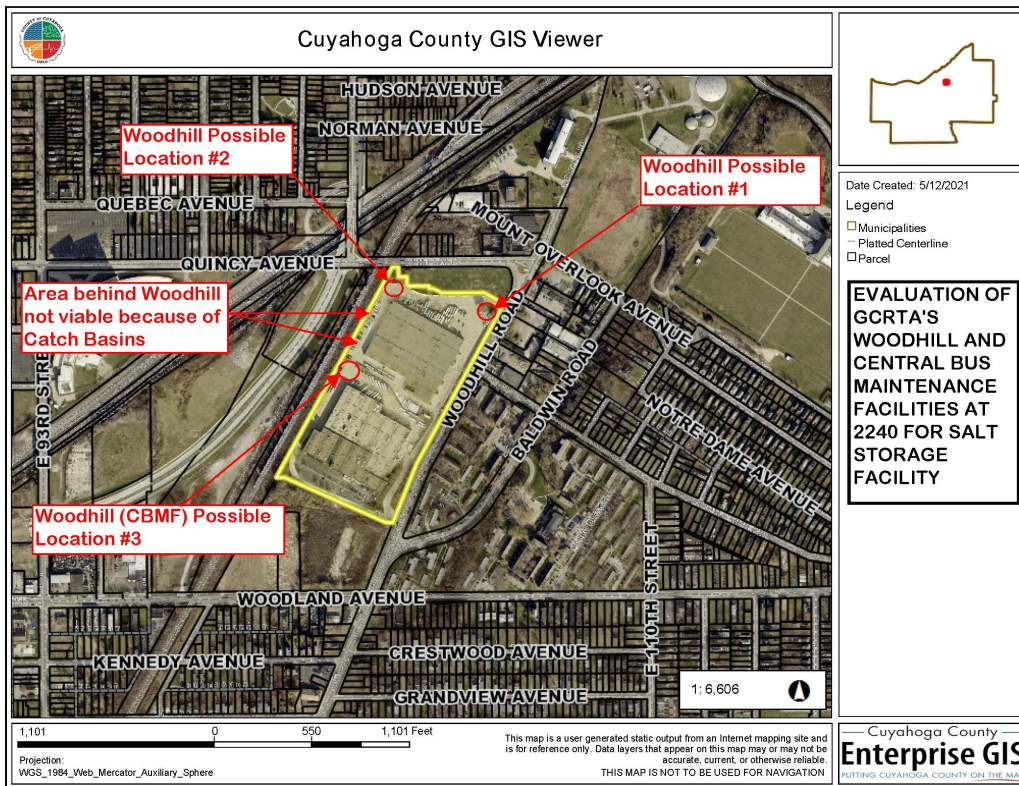
Salt Storage Structure Plan



Salt Storage Structure Plan



Woodhill & Central Bus Maintenance Facilities



Woodhill Location #1 – NE Corner of Woodhill

- **GCRTA's Preferred Location**
 - Delivery entrance nearby for truck access & maneuverability in front of structure
 - Minimum disturbance to operations at Facility
 - Area is flat and runoff containment is good
 - Portion of structure is hidden by brick wall adjacent to Woodhill Road
 - Save mature trees between wall and structure to help with concealment
 - Plant additional trees along north side for concealment
- **Not Approved at May 11, 2021 East Design Review Meeting**
 - Too close to Woodhill Road
 - Visible from residential neighborhood above with funded improvements scheduled
 - Increase in truck traffic

Woodhill Location #1 – NE Corner of Woodhill



Woodhill Location #2 – NW Corner of Woodhill

- GCRTA Evaluated Location
 - Several utilities in ground
 - Truck maneuverability in front of structure is limited
 - Area is flat but steep slopes nearby are concern for containment runoff
 - Curb required for containment
 - Structure is at back of facility
- Not a viable location

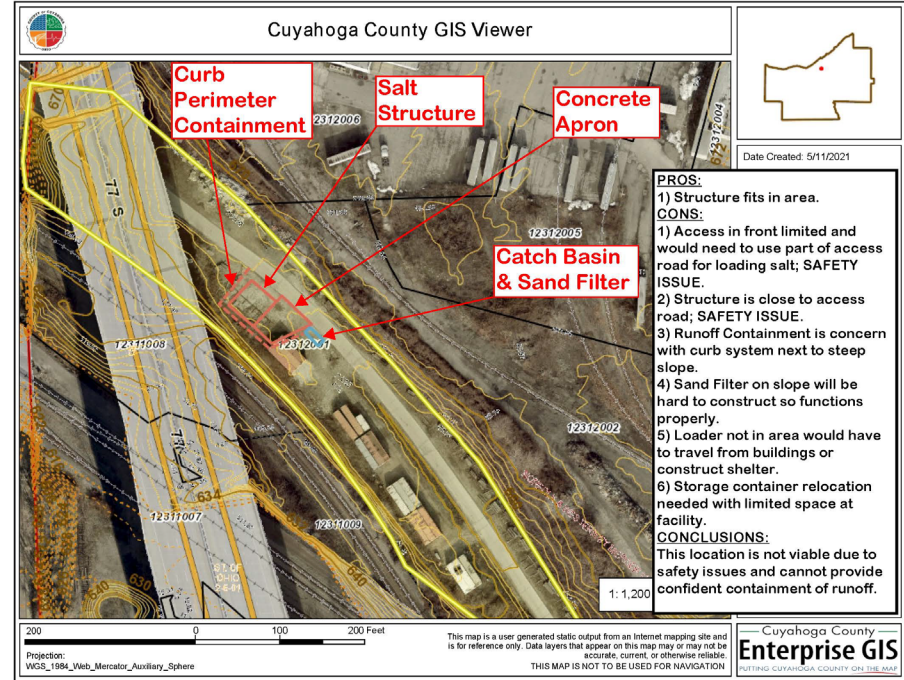
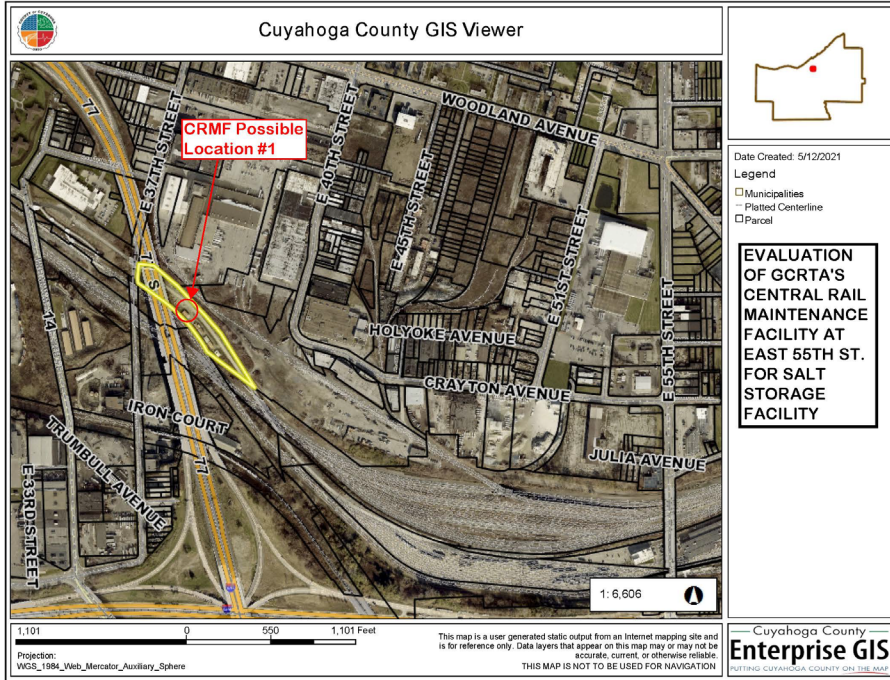
Woodhill Location #3 – NW Corner of CBMF

- **GCRTA's Second Choice Location**
 - Delivery route will need to be defined with some maneuverability restrictions
 - CBMF operations disturbed with SOPs developed on how salt operations conducted
 - Area is flat and runoff containment is good, but compact with sand filter in concrete
 - Structure is at back of facility
 - No know utility conflicts
 - Increase in cost to remove concrete and place larger sloped apron to CB & sand filter
- **Not Approved at May 25, 2021 East Design Review Meeting**
 - Impact to residential neighborhood across street with funded improvements scheduled
 - Increase in truck traffic

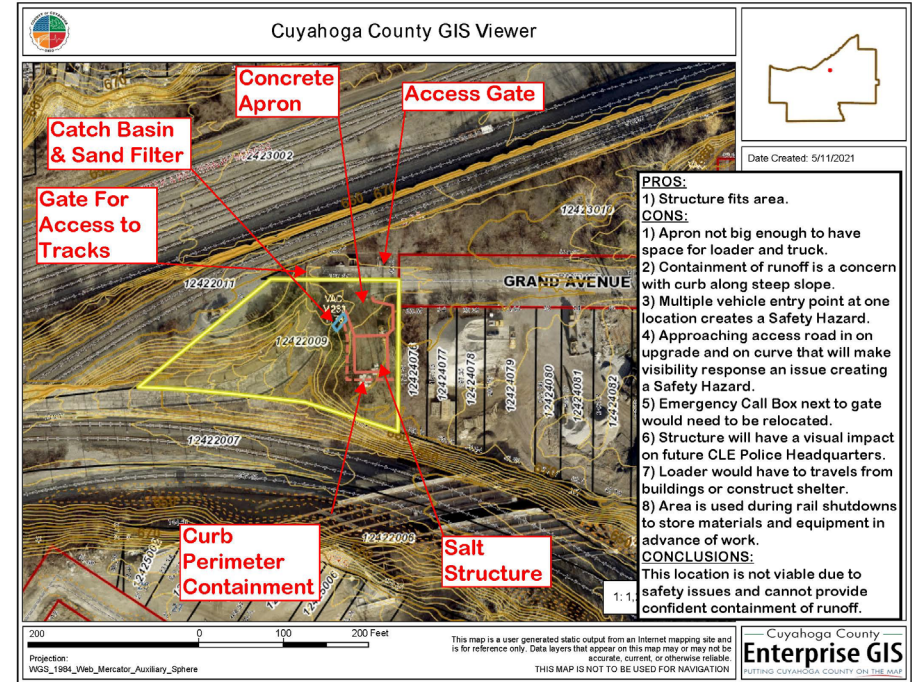
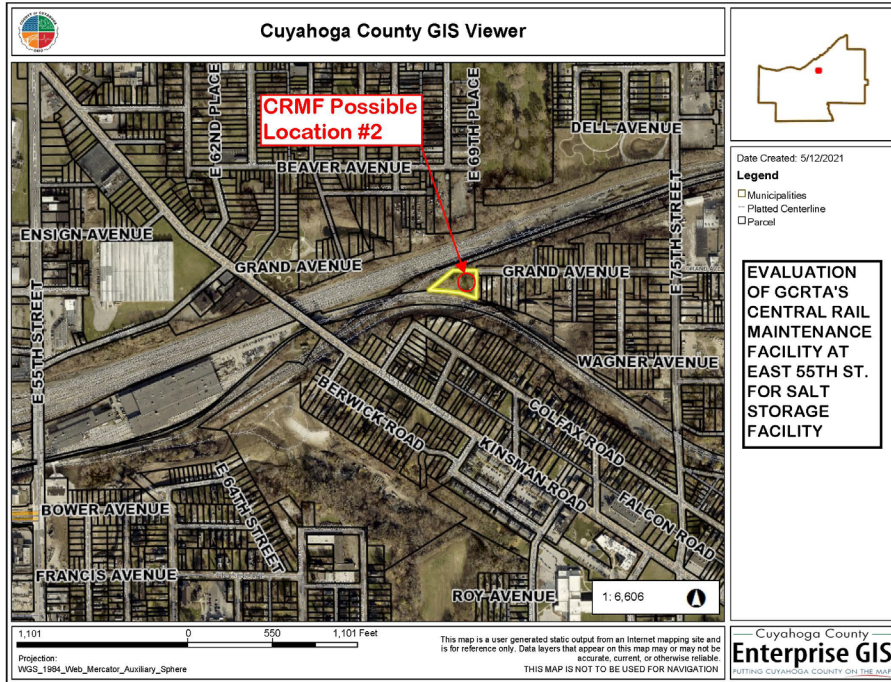
Woodhill Location #3 – NW Corner of CBMF



Central Rail Maintenance Facility Locations Evaluated – 1 of 2



Central Rail Maintenance Facility Locations Evaluated – 2 of 2



Central Rail Maintenance Facility Locations

- GCRTA Evaluated 2 CRMF Locations
 - Safety issues with proximity and geometry of access road
 - Contaminated runoff possible
 - Structure and apron stability is of concern with steep adjacent slopes
 - Location #1 is in close proximity to I77 Bridge Overpass
 - Location #2 limited and restrictive truck accessibility
 - Location #2 would be within 300 feet of proposed Stormwater Basin for new CLE Police Headquarters proposed at Grand Avenue
- Not viable locations

Traffic Considerations

- Salt Delivery Vehicles
 - Woodhill gets 10 to 30 deliveries
 - Will take plus or minus 10 loads of salt for initial delivery to fill salt structure
 - Initial deliveries similar to improvement or maintenance projects with additional traffic from workers, equipment and material deliveries for short duration
 - Salt deliveries after initial loads will be periodic like normal deliveries to facility
 - There are no known truck traffic restrictions on Woodhill Road along facility.

Traffic Considerations

- Salt Pickup by GCRTA Vehicles

- 6 additional GCRTA vehicles
- 2 from Hayden, 2 from East Rail, 1 from Shelters, 1 from Paratransit and 2 from CBMF
- 2 from CBMF are currently at facility so not an increase
- The vehicles range in size from 1 to 5 tons
- GCRTA will not be adding vehicles to salt application fleet
- Estimate that pickup salt twice during the day and twice at night during heavy storm event or traffic may increase by 24 vehicles in a day.
- Delivery vehicle should be low on heavy snow storm so total number of vehicles will be slightly over maximum deliveries in a normal day
- Seasonal operational adjustments at facility also increase traffic to & from facility
- ***Impact from 6 vehicles should not have a significant impact to area***

Traffic Considerations

- Sidewalk Pedestrians
 - Should not be impacted by traffic
 - GCRTA has same commercial driveway access as Asphalt Paving Company across the street which also has seasonal operation adjustments
 - The GCRTA drive entrances are similar to other adjoining businesses in area
 - GCRTA has no jurisdiction to modify sidewalks or roadways

CLE Planning Initial Comments

- Plant trees along front of brick wall at Facility
 - GCRTA's Procurement Department would consider adding these trees as a Cardinal change to this contract by the increased dollar amount and that work is not part of the original scope of Contract
- Plant 2 or 3 Evergreen trees north side of proposed structure
 - Can plant 2 or 3 trees by Change Order to Contract where lower wall is located to help conceal structure along drive entrance on north end
- GCRTA is working with CMHA to place mural on wall

Thank You for Your Time and
Consideration to GCRTA

Project 18.71 - Salt Storage Facilities
East – Woodhill District
2240 Woodhill Road

East Design Review Case



June 4, 2021

EAST2020-019 – Mixed-Use Building Renovation: Seeking Conceptual Approval

Project Address: 3733 East 65th Street

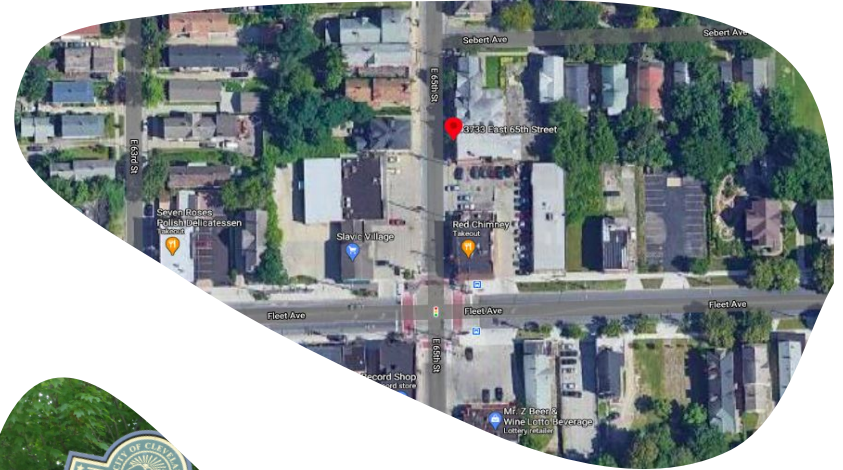
Project Representatives: Alexandra Kudukis, Home Remodeling

Ran Romano, Property Owner

Slavic Village: Renovation & Revitalization Proposal

3733 East 65th
Cleveland, OH 44105

KRS PARTNERS LLC
Alexandra Kudukis
Ran Romano



Multifaceted Project: Single Mission

Community grows from common grounds.



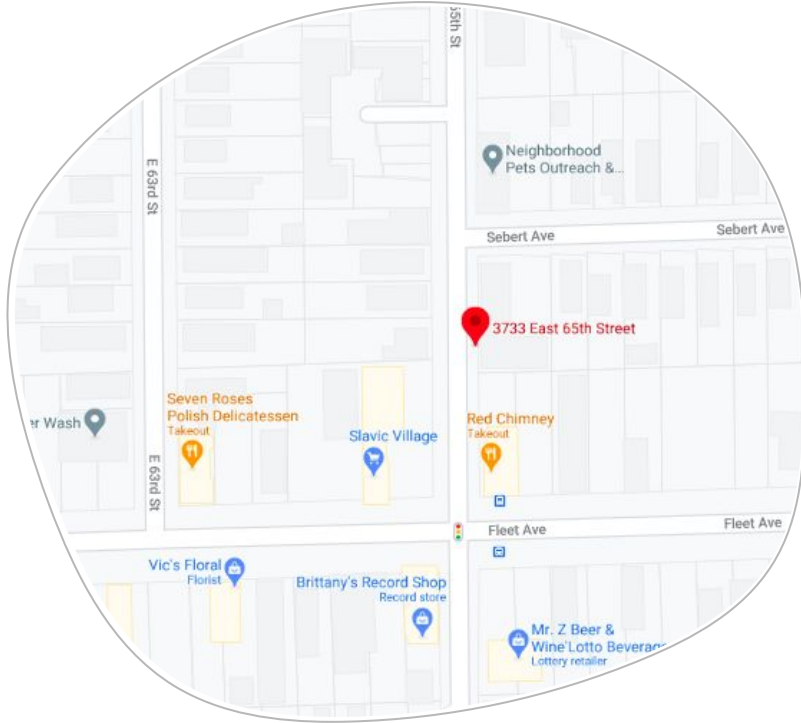
Mission & Vision:



Mission: To invigorate Cleveland's communities economically, aesthetically, and culturally one house at a time.

Vision: Empower our clients and enrich the greater Cleveland area through cultural invigoration and economic opportunity.

Positive Impact: Economic Growth



- Generates revenue to local community through tax revenue
- Attracts customers and supports other local businesses
- Cities with walkable local businesses invite shoppers to stay longer

Architectural Renderings

● Arch Tech:
Architect Paul Weir

Architectural Rehabilitation Documents

FOR

Apartment / Retail Rehabilitation

3733 East 65th Street
Cleveland, Ohio 44135



VICINITY MAP

CLIENT

KRS Partners L.L.C.
1237 East 56th Street
Eastlake, Ohio 44095
Contact: Mr. Ian S. Romano

SITE ADDRESS

3733 East 65th Street
Cleveland, Ohio 44135

Tax ID Number

132-05-097

OCCUPANCY / USE

MID - Multiple Users in One Building

ZONING DISTRICT

Zone: (L-4) Local Retail Business

CITY OF CLEVELAND PLANNER

Nickol Cahoun
ph: (216) 664-3817
email: ncahou@city.cleveland.oh.us

NARRATIVE

THE EXISTING STRUCTURE LOCATED AT 3733 East 65th Street Cleveland, Ohio 44135 IS AN ABANDONED, TWO AND ONE-HALF STORY, MASONRY / FRAME STRUCTURE WHICH IS PRESENTLY DIVIDED INTO THREE (3) STORYHOOD GROUND LEVEL RETAIL SPACES, TWO (2) GROUND LEVEL APARTMENTS AND THE (2) SECOND FLOOR APARTMENTS. THERE ARE SEVERAL VIOLATIONS ON THE SITE, THE MOST RECENT OF WHICH, IS SUMMARIZED ON VIOLATION No. X0000786, DATED 03-01-20.

THE PROPOSED USE OF THE STRUCTURE WILL INCLUDE THE CORRECTION OF THE VIOLATIONS DESCRIBED IN PREVIOUSLY REFERENCED VIOLATION, THE STREET LEVEL RETAIL AND ALL APARTMENT UNITS ARE TO BE REHABILITATED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES CURRENTLY IN EFFECT.

SINCE THE DATE OF THE ABOVE REFERENCED VIOLATION, THE OWNER HAS TAKEN MEASURES TO SECURE THE SITE FROM VAGRANTS. IN ADDITION TO THE SECURITY BEING FINANCED, THERE HAVE BEEN WINDOW INSTALLATIONS TO PROVIDE SECURITY.

THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE IMPROVEMENTS NEEDED TO BRING THE PROJECT INTO COMPLIANCE. THEY THE DOCUMENTS ARE GENERAL IN NATURE WITH MAJOR CONSTRUCTION / FINISH AND FRAMING ITEMS OUTLINED. THESE DOCUMENTS ARE INTENDED FOR BUILDING PERMIT SUBMITTAL AS IT IS RECOGNIZED THAT DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE MECHANICAL COMPONENTS (i.e. HVAC, PLUMBING AND MECHANICAL INSTALLATIONS) AND THEREFORE THOSE ITEMS ARE CONCEPTUAL IN NATURE ON THESE DOCUMENTS.

THE INTENT IS TO CORRECT THE STRUCTURAL DEFICIENCIES OUTLINED IN THE VIOLATIONS NOTED ABOVE. FOLLOWING THE BASEMENT REPAIR, THE RETAIL UNITS WILL BE REHABILITATED AND THE DWELLING UNITS WILL BE REHABILITATED INDIVIDUALLY AND THEREFOR THE INCLUDED FLOOR PLANS FOR THE DWELLING UNITS ARE SUBJECT TO CHANGE (WITH BUILDING DEPARTMENTS APPROVAL) BASED ON DEMAND, UNIT SIZE, ECONOMICS, ETC.

DEFERRED SUBMITTAL REQUEST

DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE FOLLOWING:

PLUMBING PLAN
HVAC PLAN
ELECTRICAL PLAN

EXISTING USE

VACANT BUILDING - CONDEMNED

PROPOSED USE

RETAIL USE STRUCTURE WITH GROUND LEVEL RETAIL AND WALK-UP APARTMENTS

CODE COMPLIANCE CHART

OHIO BUILDING CODE - 2017
OHIO RESIDENTIAL CODE - 2018
OHIO MECHANICAL CODE - 2018
OHIO PLUMBING CODE - 2018
ADA STANDARDS - 2010
NATIONAL ELECTRICAL CODE (NEC) - 2017
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), NFPA 1
BURNER FREE (MBP) DESIGN LAW PUBLIC ACT L OF 1992, AS AMENDED
ICC AND AS 111-2008 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
NFPA 10 FIRE EXTINGUISHERS

SHEET INDEX

- A-1 Cover Sheet
- A-2 Site Plan
- A-2a Rendered Site Plan
- A-3 Existing Basement Plan
- A-4 Foundation Repair Details
- A-5 First Floor Plan
- A-6 Second Floor Plan
- A-7 Existing West / South Exterior Elevations
- A-8 Existing East / North Exterior Elevations
- A-8a Rendered East Elevation
- A-9 Miscellaneous Details / Information
- A-10 General Notes and Specifications



Cover Sheet

Proprietor:
KRS Partners L.L.C.
Mr. Ian S. Romano

Project Location:
3733 East 65th Street
Cleveland, Ohio 44135

Issued for:
 preliminary
 construction August 14, 2020

Drawn by: P. Weir
Designed by: P. Weir
Approved by:

Revisions:
1. 08/14/2020: Update sheet index to include A-10 General Notes and Specifications.

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Job No. 20-028

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Sheet 1 of 10



Site Plan

Proprietor:
KRS Systems L.L.C.
 Mr. Ran S. Romano

Project Location:
 3733 East 65th Street
 Cleveland, Ohio 44135

Issued for
 preliminary
 construction August 14, 2020

drawn _____ P. Weir / A. Vardolias
 designed _____ P. Weir
 approved _____

Revisions:
 A. _____
 B. _____
 C. _____

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Job No. 20-028
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 Sheet 2 of 10



Legend

- PROPERTY LINE
- - - RIGHT OF WAY
- CENTER LINE
- - - BUILDING SETBACK
- - - EXISTING BUILDING
- [Pattern] INDICATES PROPOSED CONCRETE SIDEWALK
- [Pattern] INDICATES SUBSE STORY STRUCTURE
- (3) INDICATES NUMBER OF PROPOSED PARKING STALLS IN PARKING BAY

Site Data

| | |
|---------------------------------------|---------------------------|
| area of property | 10,000 sq ft (0.231 acre) |
| building coverage | 5,160 sq ft |
| area of paving | 2,565 sq ft |
| area of sidewalks | 970 sq ft |
| remaining green area | 1,305 sq ft (13.25 %) |
| total on-site parking spaces provided | 8 |

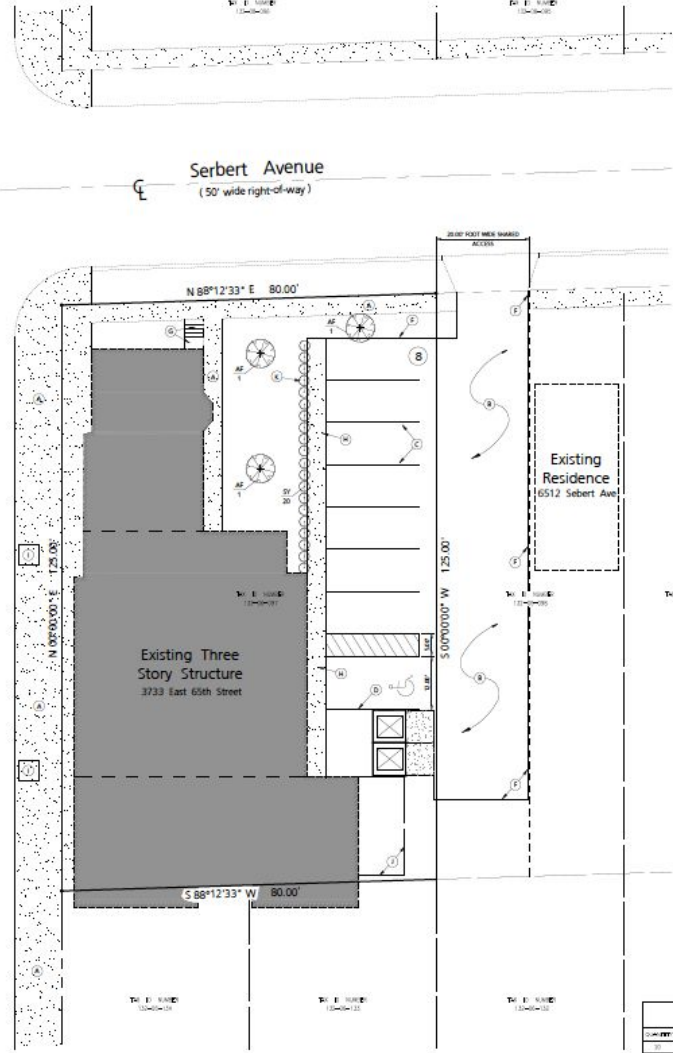
CONSTRUCTION NOTES;

- (A) EXISTING CONCRETE SIDEWALK TO REMAIN
- (B) RE-CONSTRUCT ASPHALT PAVEMENT FOR PAVEMENT SECTION SHEET A-10 20.00' WIDE DRIVE AISLE
- (C) 4" WIDE SHARP CORNER BEARS TO DETAIL SHEET A-10, FOR PARKING STALL DIMENSIONS (P 4.207)
- (D) PROVIDE ADA COMPLIANT PARKING STALL. NO SLOPE GREATER THAN 2.0% IN ANY DIRECTION
- (E) PROVIDE OIL DUMPSTER ENCLOSURE w/ CONCRETE SLAB PER DETAIL SHEET A-10 DUMPSTER TO HAVE ATTACHED LID
- (F) EDGE OF EXISTING ASPHALT PAVEMENT
- (G) EXISTING ENTRANCE LANDING TO BE RECONSTRUCTED
- (H) CONSTRUCT 4.5" WIDE CONCRETE WALK PER DETAIL SHEET A-8
- (I) EXISTING TREE WELL
- (J) 10.00' WIDE ELEVATED WOOD DECK
- (K) PROPOSED HEDGE. REFERS TO PLANTING LIST BELOW

GENERAL NOTES:

- 1) THERE IS NO EXISTING SIGN PROPOSED
- 2) THERE IS NO PROPOSED EXTERIOR SITE LIGHTING AT THIS TIME
- 3) ALL ABOVE GROUND BUILDING AND ROOF MOUNTED MECHANICAL EQUIPMENT AND UTILITIES SHALL BE SCREENED WHERE PRACTICAL. IF LOCATIONS ARE UNDESIRABLE, SCREENING AND LANDSCAPE SCREENING WILL BE REQUIRED AND APPROVED BY BOTH THE BUILDING AND PLANNING DEPARTMENTS PRIOR TO INSTALLATION
- 4) THE ACCESSIBLE ROUTE BEING THE PARKING AREA TO THE BUILDING SHALL COMPLY WITH THE ADA REQUIREMENTS FOR ACCESSIBILITY
- 5) THE ACCESSIBLE ENTRANCES SHALL COMPLY WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT
- 6) THE EXISTING ASPHALT PAVEMENT (IF IT BEGINS CONCRETE) AND IS CHANGED WITH THE ADJOINING PROPERTY TO THE EAST NEW CURBSIDE DRIVEWAY ARE TO BE CONSTRUCTED. REVISIONS SHALL BE OBTAINED FROM THE ADJACENT PROPERTY OWNER TO CONSTRUCT THE ENCLOSURES

| FL-ATT LIST | | | | | |
|-------------|------|-----------------|---------|----|------|
| CONTRACT | REV. | DESCRIPTION | DATE | BY | CHK. |
| 3 | 4 | REVISED PARKING | 8/14/20 | AW | AW |
| 3 | 4 | REVISED PARKING | 8/14/20 | AW | AW |



TH E. SIDE
 134=0+12

TH E. SIDE
 134=0+12

TH E. SIDE
 134=0+12

TH E. SIDE
 134=0+12

TH E. SIDE
 134=0+12

TH E. SIDE
 134=0+12

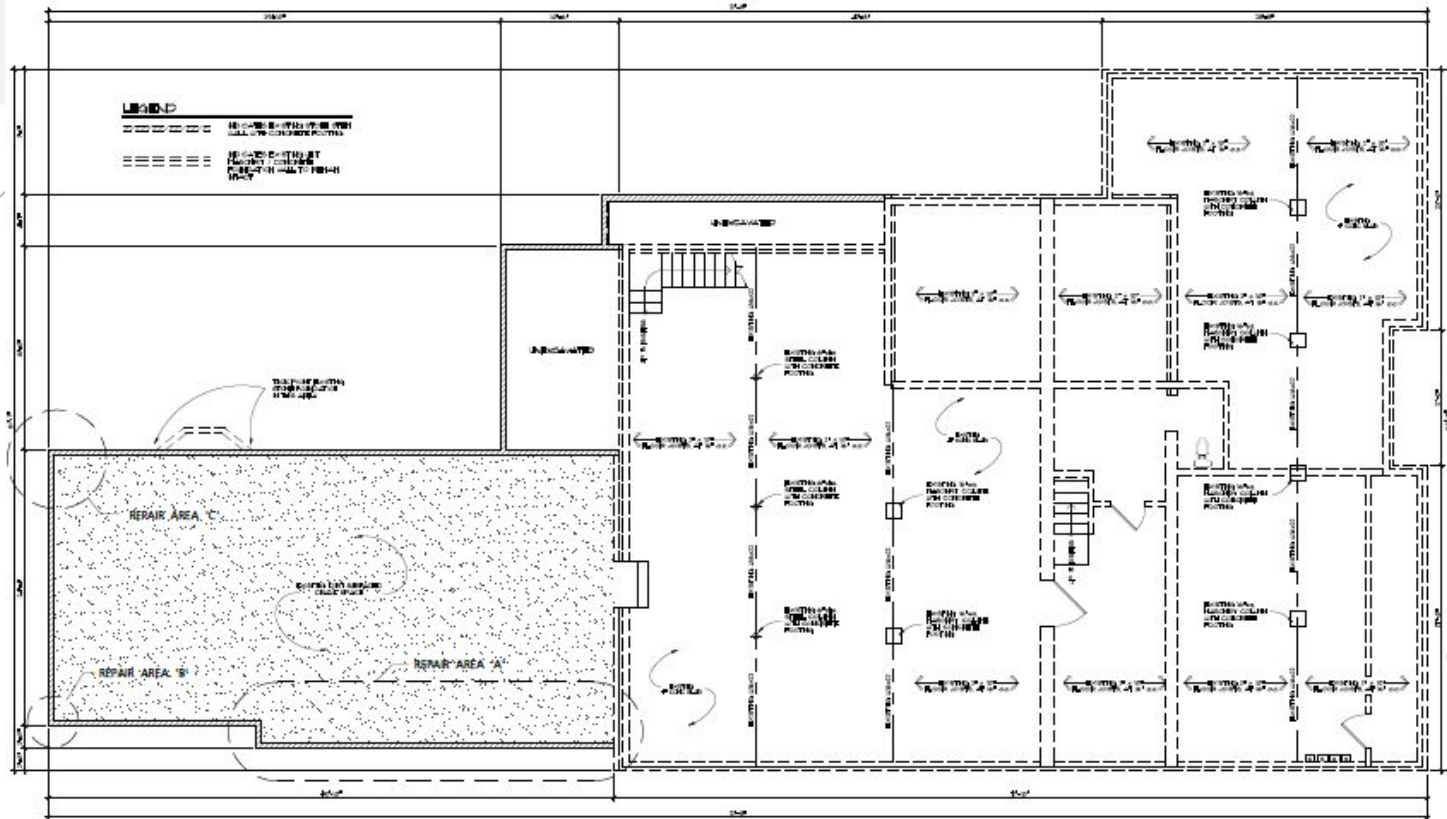
TH E. SIDE
 134=0+12

East 65th Street
 (60' wide right-of-way)

Serbert Avenue
 (50' wide right-of-way)

Existing Three
 Story Structure
 3733 East 65th Street

Existing Residence
 6512 Serbert Ave



Existing
Basement Plan

Proprietor:
KRS Partners L.L.C.
Mr. Ken S. Romano

Project Location:
3733 East 55th Street
Cleveland, Ohio 44135

Issued for:
 preliminary
 construction August 14, 2020

Drawn: S.W. J. Volden
 Designed: P. Voss
 Approved: _____

Revised:
 1. _____
 2. _____
 3. _____

Comments:
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Job No. 20-028

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Sheet 3 of 10

EXISTING CONDITIONS



Photo W

Photo W'

Photo W''

Photo W'''



Photo W''''

Photo W'''''



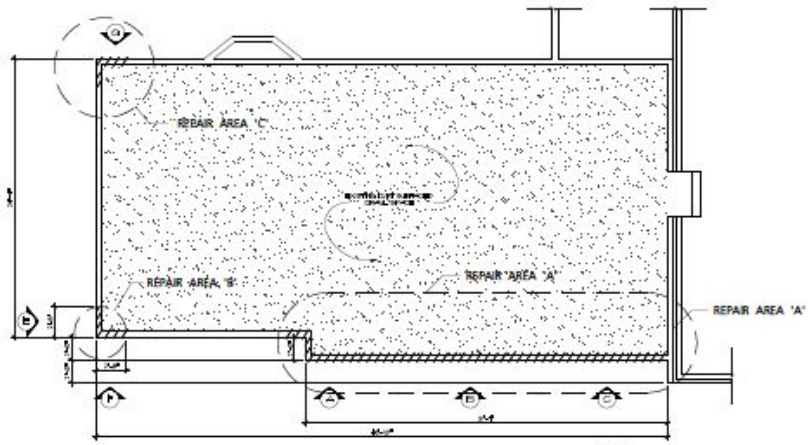
Photo W''''''

REPAIR MATERIAL SPECIFICATIONS

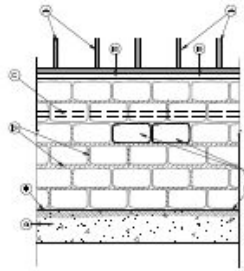
1. ALL REPAIRS SHALL BE MADE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
2. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
3. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
4. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
5. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
6. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
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8. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
9. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
10. ALL REPAIRS SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.

FOUNDATION REPAIR NOTE

1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE REPAIRS.
2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE REPAIRS.
3. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE REPAIRS.
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9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE REPAIRS.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE REPAIRS.




PARTIAL BASEMENT REPAIR AREA



FOUNDATION WALL REPAIR DETAIL

DETAIL NOTE

1. REPAIR AREA A SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
2. REPAIR AREA B SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
3. REPAIR AREA C SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
4. REPAIR AREA D SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
5. REPAIR AREA E SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
6. REPAIR AREA F SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
7. REPAIR AREA G SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
8. REPAIR AREA H SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
9. REPAIR AREA I SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.
10. REPAIR AREA J SHALL BE MADE WITH A PORTLAND CEMENT MORTAR MIXTURE WITH A MINIMUM OF 10% PORTLAND CEMENT AND A MAXIMUM OF 10% AIR ENTRAINMENT.



A-4
ARCHITECTURE
West Hill Avenue, Norwalk, Michigan 48466
Phone: 586.654.4444
www.a4architect.com

Foundation Repair Details

Proprietor:
KRS Partners L.L.C.
Mr. Ran S. Romano

Project Location:
3733 East 69th Street
Cleveland, Ohio 44135

Issued for:
 preliminary
 construction August 14, 2020

Drawn by: **P. Wei / A. Vankov**
Designed by: **P. Wei**
Reviewed by: _____

Revisions:
1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

Comments:
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Job No. 20-028
A-4
Sheet 4 of 10

**West Elevation
 South Elevation**

Proprietor:
KRS Partners L.L.C.
 Mr. Ran S. Romano

Project Location:
 3733 East 65th Street
 Cleveland, Ohio 44135

Issued for:
 preliminary
 construction August 14, 2020

drawn by: P. Wer / A. Vardanyan
 designed by: P. Wer
 approved by: _____

Revisions:
 1. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**
 2. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**
 3. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**
 4. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**
 5. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**
 6. **REVISED TO ADD WINDOW SIZES TO THE SOUTH ELEVATION**

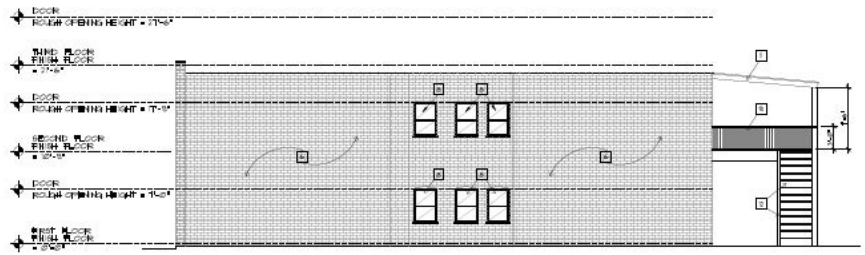
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Job No. 20-028

A-7



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
1. ALL FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 2. ALL FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 3. THE FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 4. ALL FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.

- ELEVATION NOTES:**
1. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 2. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 3. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 4. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
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 9. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 10. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 11. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 12. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 13. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 14. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.
 15. FINISHES TO BE AS SHOWN UNLESS INDICATED OTHERWISE.

East Elevation
North Elevation

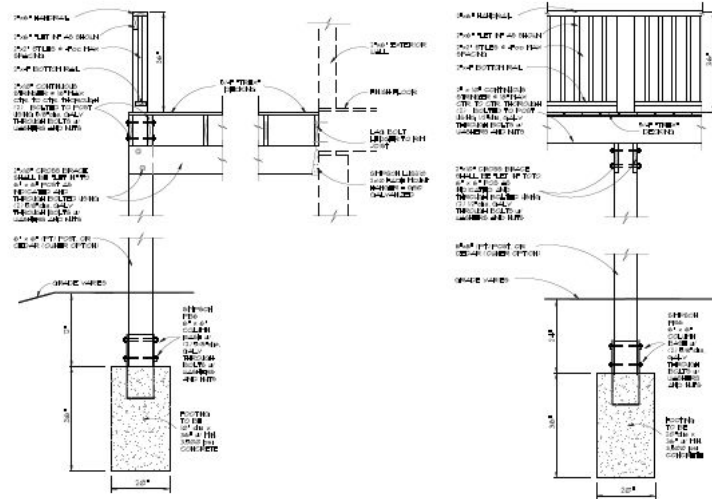
Proprietor:
KRS Partners L.L.C.
Mr. Ran S. Romano

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3733 East 65th Street
Cleveland, Ohio 44135

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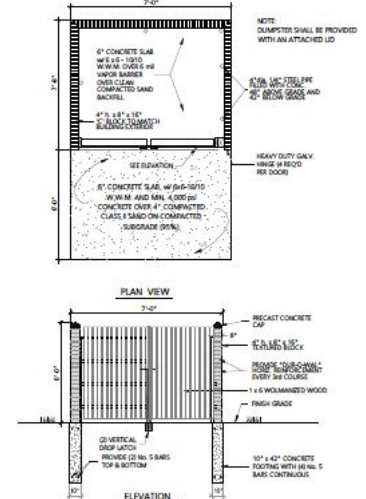
Drawn by: P. Wier / A. Vandrey
 Designed by: P. Wier
 Approved by:

Revisions:
 01. 30x60x80x120x180x240x300x360x420x480x540x600x660x720x780x840x900x960x1020x1080x1140x1200x1260x1320x1380x1440x1500x1560x1620x1680x1740x1800x1860x1920x1980x2040x2100x2160x2220x2280x2340x2400x2460x2520x2580x2640x2700x2760x2820x2880x2940x3000x3060x3120x3180x3240x3300x3360x3420x3480x3540x3600x3660x3720x3780x3840x3900x3960x4020x4080x4140x4200x4260x4320x4380x4440x4500x4560x4620x4680x4740x4800x4860x4920x4980x5040x5100x5160x5220x5280x5340x5400x5460x5520x5580x5640x5700x5760x5820x5880x5940x6000x6060x6120x6180x6240x6300x6360x6420x6480x6540x6600x6660x6720x6780x6840x6900x6960x7020x7080x7140x7200x7260x7320x7380x7440x7500x7560x7620x7680x7740x7800x7860x7920x7980x8040x8100x8160x8220x8280x8340x8400x8460x8520x8580x8640x8700x8760x8820x8880x8940x9000x9060x9120x9180x9240x9300x9360x9420x9480x9540x9600x9660x9720x9780x9840x9900x9960x10020x10080x10140x10200x10260x10320x10380x10440x10500x10560x10620x10680x10740x10800x10860x10920x10980x11040x11100x11160x11220x11280x11340x11400x11460x11520x11580x11640x11700x11760x11820x11880x11940x12000x12060x12120x12180x12240x12300x12360x12420x12480x12540x12600x12660x12720x12780x12840x12900x12960x13020x13080x13140x13200x13260x13320x13380x13440x13500x13560x13620x13680x13740x13800x13860x13920x13980x14040x14100x14160x14220x14280x14340x14400x14460x14520x14580x14640x14700x14760x14820x14880x14940x15000x15060x15120x15180x15240x15300x15360x15420x15480x15540x15600x15660x15720x15780x15840x15900x15960x16020x16080x16140x16200x16260x16320x16380x16440x16500x16560x16620x16680x16740x16800x16860x16920x16980x17040x17100x17160x17220x17280x17340x17400x17460x17520x17580x17640x17700x17760x17820x17880x17940x18000x18060x18120x18180x18240x18300x18360x18420x18480x18540x18600x18660x18720x18780x18840x18900x18960x19020x19080x19140x19200x19260x19320x19380x19440x19500x19560x19620x19680x19740x19800x19860x19920x19980x20040x20100x20160x20220x20280x20340x20400x20460x20520x20580x20640x20700x20760x20820x20880x20940x21000x21060x21120x21180x21240x21300x21360x21420x21480x21540x21600x21660x21720x21780x21840x21900x21960x22020x22080x22140x22200x22260x22320x22380x22440x22500x22560x22620x22680x22740x22800x22860x22920x22980x23040x23100x23160x23220x23280x23340x23400x23460x23520x23580x23640x23700x23760x23820x23880x23940x24000x24060x24120x24180x24240x24300x24360x24420x24480x24540x24600x24660x24720x24780x24840x24900x24960x25020x25080x25140x25200x25260x25320x25380x25440x25500x25560x25620x25680x25740x25800x25860x25920x25980x26040x26100x26160x26220x26280x26340x26400x26460x26520x26580x26640x26700x26760x26820x26880x26940x27000x27060x27120x27180x27240x27300x27360x27420x27480x27540x27600x27660x27720x27780x27840x27900x27960x28020x28080x28140x28200x28260x28320x28380x28440x28500x28560x28620x28680x28740x28800x28860x28920x28980x29040x29100x29160x29220x29280x29340x29400x29460x29520x29580x29640x29700x29760x29820x29880x29940x30000x30060x30120x30180x30240x30300x30360x30420x30480x30540x30600x30660x30720x30780x30840x30900x30960x31020x31080x31140x31200x31260x31320x31380x31440x31500x31560x31620x31680x31740x31800x31860x31920x31980x32040x32100x32160x32220x32280x32340x32400x32460x32520x32580x32640x32700x32760x32820x32880x32940x33000x33060x33120x33180x33240x33300x33360x33420x33480x33540x33600x33660x33720x33780x33840x33900x33960x34020x34080x34140x34200x34260x34320x34380x34440x34500x34560x34620x34680x34740x34800x34860x34920x34980x35040x35100x35160x35220x35280x35340x35400x35460x35520x35580x35640x35700x35760x35820x35880x35940x36000x36060x36120x36180x36240x36300x36360x36420x36480x36540x36600x36660x36720x36780x36840x36900x36960x37020x37080x37140x37200x37260x37320x37380x37440x37500x37560x37620x37680x37740x37800x37860x37920x37980x38040x38100x38160x38220x38280x38340x38400x38460x38520x38580x38640x38700x38760x38820x38880x38940x39000x39060x39120x39180x39240x39300x39360x39420x39480x39540x39600x39660x39720x39780x39840x39900x39960x40020x40080x40140x40200x40260x40320x40380x40440x40500x40560x40620x40680x40740x40800x40860x40920x40980x41040x41100x41160x41220x41280x41340x41400x41460x41520x41580x41640x41700x41760x41820x41880x41940x42000x42060x42120x42180x42240x42300x42360x42420x42480x42540x42600x42660x42720x42780x42840x42900x42960x43020x43080x43140x43200x43260x43320x43380x43440x43500x43560x43620x43680x43740x43800x43860x43920x43980x44040x44100x44160x44220x44280x44340x44400x44460x44520x44580x44640x44700x44760x44820x44880x44940x45000x45060x45120x45180x45240x45300x45360x45420x45480x45540x45600x45660x45720x45780x45840x45900x45960x46020x46080x46140x46200x46260x46320x46380x46440x46500x46560x46620x46680x46740x46800x46860x46920x46980x47040x47100x47160x47220x47280x47340x47400x47460x47520x47580x47640x47700x47760x47820x47880x47940x48000x48060x48120x48180x48240x48300x48360x48420x48480x48540x48600x48660x48720x48780x48840x48900x48960x49020x49080x49140x49200x49260x49320x49380x49440x49500x49560x49620x49680x49740x49800x49860x49920x49980x50040x50100x50160x50220x50280x50340x50400x50460x50520x50580x50640x50700x50760x50820x50880x50940x51000x51060x51120x51180x51240x51300x51360x51420x51480x51540x51600x51660x51720x51780x51840x51900x51960x52020x52080x52140x52200x52260x52320x52380x52440x52500x52560x52620x52680x52740x52800x52860x52920x52980x53040x53100x53160x53220x53280x53340x53400x53460x53520x53580x53640x53700x53760x53820x53880x53940x54000x54060x54120x54180x54240x54300x54360x54420x54480x54540x54600x54660x54720x54780x54840x54900x54960x55020x55080x55140x55200x55260x55320x55380x55440x55500x55560x55620x55680x55740x55800x55860x55920x55980x56040x56100x56160x56220x56280x56340x56400x56460x56520x56580x56640x56700x56760x56820x56880x56940x57000x57060x57120x57180x57240x57300x57360x57420x57480x57540x57600x57660x57720x57780x57840x57900x57960x58020x58080x58140x58200x58260x58320x58380x58440x58500x58560x58620x58680x58740x58800x58860x58920x58980x59040x59100x59160x59220x59280x59340x59400x59460x59520x59580x59640x59700x59760x59820x59880x59940x60000x60060x60120x60180x60240x60300x60360x60420x60480x60540x60600x60660x60720x60780x60840x60900x60960x61020x61080x61140x61200x61260x61320x61380x61440x61500x61560x61620x61680x61740x61800x61860x61920x61980x62040x62100x62160x62220x62280x62340x62400x62460x62520x62580x62640x62700x62760x62820x62880x62940x63000x63060x63120x63180x63240x63300x63360x63420x63480x63540x63600x63660x63720x63780x63840x63900x63960x64020x64080x64140x64200x64260x64320x64380x64440x64500x64560x64620x64680x64740x64800x64860x64920x64980x65040x65100x65160x65220x65280x65340x65400x65460x65520x65580x65640x65700x65760x65820x65880x65940x66000x66060x66120x66180x66240x66300x66360x66420x66480x66540x66600x66660x66720x66780x66840x66900x66960x67020x67080x67140x67200x67260x67320x67380x67440x67500x67560x67620x67680x67740x67800x67860x67920x67980x68040x68100x68160x68220x68280x68340x68400x68460x68520x68580x68640x68700x68760x68820x68880x68940x69000x69060x69120x69180x69240x69300x69360x69420x69480x69540x69600x69660x69720x69780x69840x69900x69960x70020x70080x70140x70200x70260x70320x70380x70440x70500x70560x70620x70680x70740x70800x70860x70920x70980x71040x71100x71160x71220x71280x71340x71400x71460x71520x71580x71640x71700x71760x71820x71880x71940x72000x72060x72120x72180x72240x72300x72360x72420x72480x72540x72600x72660x72720x72780x72840x72900x72960x73020x73080x73140x73200x73260x73320x73380x73440x73500x73560x73620x73680x73740x73800x73860x73920x73980x74040x74100x74160x74220x74280x74340x74400x74460x74520x74580x74640x74700x74760x74820x74880x74940x75000x75060x75120x75180x75240x75300x75360x75420x75480x75540x75600x75660x75720x75780x75840x75900x75960x76020x76080x76140x76200x76260x76320x76380x76440x76500x76560x76620x76680x76740x76800x76860x76920x76980x77040x77100x77160x77220x77280x77340x77400x77460x77520x77580x77640x77700x77760x77820x77880x77940x78000x78060x78120x78180x78240x78300x78360x78420x78480x78540x78600x78660x78720x78780x78840x78900x78960x79020x79080x79140x79200x79260x79320x79380x79440x79500x79560x79620x79680x79740x79800x79860x79920x79980x80040x80100x80160x80220x80280x80340x80400x80460x80520x80580x80640x80700x80760x80820x80880x80940x81000x81060x81120x81180x81240x81300x81360x81420x81480x81540x81600x81660x81720x81780x81840x81900x81960x82020x82080x82140x82200x82260x82320x82380x82440x82500x82560x82620x82680x82740x82800x82860x82920x82980x83040x83100x83160x83220x83280x83340x83400x83460x83520x83580x83640x83700x83760x83820x83880x83940x84000x84060x84120x84180x84240x84300x84360x84420x84480x84540x84600x84660x84720x84780x84840x84900x84960x85020x85080x85140x85200x85260x85320x85380x85440x85500x85560x85620x85680x85740x85800x85860x85920x85980x86040x86100x86160x86220x86280x86340x86400x86460x86520x86580x86640x86700x86760x86820x86880x86940x87000x87060x87120x87180x87240x87300x87360x87420x87480x87540x87600x87660x87720x87780x87840x87900x87960x88020x88080x88140x88200x88260x88320x88380x88440x88500x88560x88620x88680x88740x88800x88860x88920x88980x89040x89100x89160x89220x89280x89340x89400x89460x89520x89580x89640x89700x89760x89820x89880x89940x90000x90060x90120x90180x90240x90300x90360x90420x90480x90540x90600x90660x90720x90780x90840x90900x90960x91020x91080x91140x91200x91260x91320x91380x91440x91500x91560x91620x91680x91740x91800x91860x91920x91980x92040x92100x92160x92220x92280x92340x92400x92460x92520x92580x92640x92700x92760x92820x92880x92940x93000x93060x93120x93180x93240x93300x93360x93420x93480x93540x93600x93660x93720x93780x93840x93900x93960x94020x94080x94140x94200x94260x94320x94380x94440x94500x94560x94620x94680x94740x94800x94860x94920x94980x95040x95100x95160x95220x95280x95340x95400x95460x95520x95580x95640x95700x95760x95820x95880x95940x96000x96060x96120x96180x96240x96300x96360x96420x96480x96540x96600x96660x96720x96780x96840x96900x96960x97020x97080x97140x97200x97260x97320x97380x97440x97500x97560x97620x97680x97740x97800x97860x97920x97980x98040x98100x98160x98220x98280x98340x98400x98460x98520x98580x98640x98700x98760x98820x98880x98940x99000x99060x99120x99180x99240x99300x99360x99420x99480x99540x99600x99660x99720x99780x99840x99900x99960x100020x100080x100140x100200x100260x100320x100380x100440x100500x100560x100620x100680x100740x100800x100860x100920x100980x101040x101100x101160x101220x101280x101340x101400x101460x101520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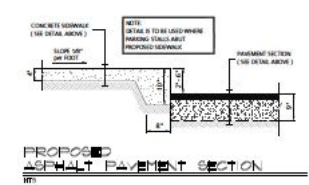
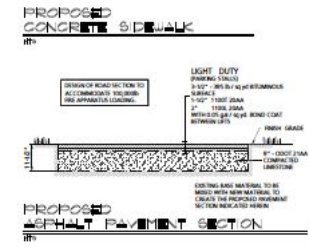
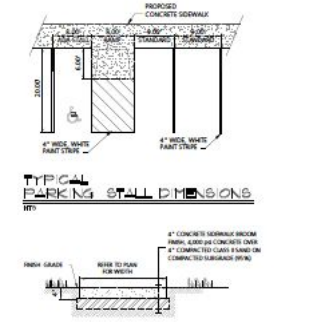


SECTION 'A'
 1/8\"/>

SECTION 'B'
 1/8\"/>



PROPOSED DUMPSTER ENCLOSURE
 1/8\"/>



- CONSTRUCTION NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. ALL MATERIALS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.



Miscellaneous
 Details / Information

Proprietor:
 KRS Partners L.L.C.
 Mr. Ran S. Romano

Project Location:
 3733 East 65th Street
 Cleveland, Ohio 44135

Issued for:
 preliminary
 construction August 14, 2020

drawn by: P. Wier / A. Vardola
 designed by: P. Wier
 approved:

revisions:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

CONTRACT ID:
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 Job No. 20-028
A-9
 Sheet 9 of 10

COMMERCIAL

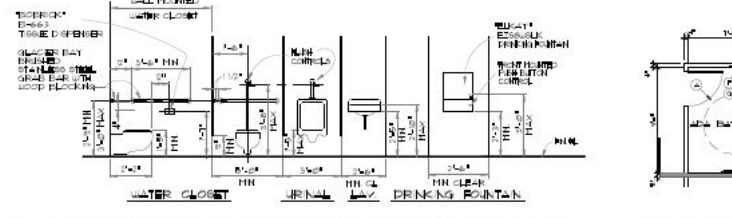
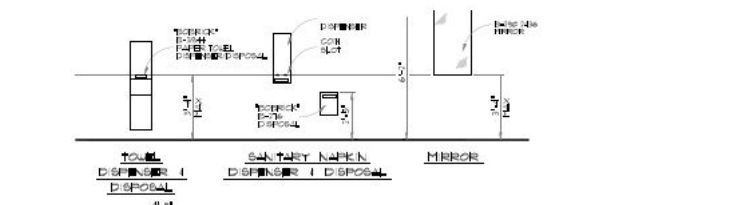
ROOM FINISH SCHEDULE

| ROOM NAME | FLOOR | BASE | WALL | CEILING | CERAMIC HEIGHT |
|-----------|----------|----------|----------|----------|----------------|
| STORAGE | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |
| RETAIL | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |
| BATHROOM | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |

RESIDENTIAL

ROOM FINISH SCHEDULE

| ROOM NAME | FLOOR | BASE | WALL | CEILING | CERAMIC HEIGHT |
|-------------|----------|----------|----------|----------|----------------|
| LIVING ROOM | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |
| KITCHEN | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |
| BEDROOM | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |
| BATHROOM | CONCRETE | CONCRETE | CONCRETE | CONCRETE | 7'-0" |



ADA BATHROOM DETAIL - ONE ADA BATHROOM FOR COMMERCIAL UNIT
 1/8\"/>

ADA REST ROOM DETAILS
 1/8\"/>

MATERIAL - PROCEDURAL SPECIFICATIONS

1 - GENERAL INFORMATION

- 1. ALL WORK SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS FOR STRUCTURAL STEELWORK AND SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS FOR STRUCTURAL STEELWORK AND SHALL BE SUBJECT TO THE GENERAL SPECIFICATIONS FOR STRUCTURAL STEELWORK...

2 - STEELWORK

- 1. STRUCTURAL STEEL SHALL BE A36 STEEL UNLESS OTHERWISE SPECIFIED. ALL STRUCTURAL STEEL SHALL BE A36 STEEL UNLESS OTHERWISE SPECIFIED...

3 - CONCRETE

- 1. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE UNLESS OTHERWISE SPECIFIED. ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE UNLESS OTHERWISE SPECIFIED...

4 - STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL SHALL BE A36 STEEL UNLESS OTHERWISE SPECIFIED. ALL STRUCTURAL STEEL SHALL BE A36 STEEL UNLESS OTHERWISE SPECIFIED...

5 - FINISHES

- 1. ALL STRUCTURAL STEEL SHALL BE PAINTED WITH AN EPOXY RICH PRIMER AND A FINISH COAT OF EPOXY ENAMEL UNLESS OTHERWISE SPECIFIED...

6 - WOOD FINISHING LIBRARY

- 1. ALL WOOD FINISHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WOOD FINISHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

- 1. ALL WOOD FINISHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WOOD FINISHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

7 - SHOWN IN DRAWINGS

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

8 - INSULATION

- 1. ALL INSULATION SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL INSULATION SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

9 - WINDOWS and DOORS

- 1. ALL WINDOWS AND DOORS SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WINDOWS AND DOORS SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

10 - FINISHED AND PARTIALLY FINISHED

- 1. ALL FINISHED AND PARTIALLY FINISHED WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL FINISHED AND PARTIALLY FINISHED WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

11 - MECHANICAL

- 1. ALL MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

12 - ELECTRICAL

- 1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

- 1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

13 - ADDITIONAL COMMENTS

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...

GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...



General Notes and Specifications

Proprietor: KRS Partners LLC, Mr. Ran S. Romano

Project Location: 3733 East 65th Street, Cleveland, Ohio 44135

Issued for: preliminary construction August 14, 2020

drawn by: P. Wier / A. Wiersma, designed by: P. Wier, approved by: P. Wier

Revisions table with columns for revision number, description, and date.

Copyright notice and disclaimer text.

Current Photos











Exterior Pictures

- Front Right Corner
- Back of Building
- Front of Building
- Front- street view
- Left Corner View
- Back of building

Material Board



GAF
Roof Shingle Replacement
Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing Shingles



Durabuilt
Soffit Replacement
Durabuilt 12-in x 144-in 912 White Vinyl Vented Soffit



Transformations
Vinyl Siding
Transformations Double 4 in Lap Vinyl Siding - Color Matched

Royal Building Products
PVC Fascia and Trim
1 x 8 Fascia Material - 3/4 x 4 Trim - 3/4 x 6 Trim



Splice White - SW5101



Shove Stopper - SW2563



Cleveland Window & Door
Vinyl Double Hung Replacement Windows
4566 East 71st Street Cleveland, Ohio 44105



Building After Renovations

White Trim added to exterior
of front of building

§ 349.06 Mixed Use Facilities



Accessory off-street parking spaces required of two (2) or more uses located on the same lot or parcel may be combined and used jointly by such uses, provided that the parking spaces provided shall be equal to the total number of accessory off-street parking spaces required by all such uses. Where a use is accessory to the main use and is not primarily intended to serve additional patrons or employees, or generate additional traffic, no additional off-street parking spaces need be provided for such accessory use.

(Ord. No. 1236-A-67. Passed 6-28-71, eff. 7-2-71)

§ 349.07 Access and Maintenance of Off-Street Parking Spaces



(a) Accessory off-street parking spaces, driveways and maneuvering areas shall be properly graded for drainage so that all water is drained within the lot providing such parking spaces, surfaced with concrete, asphaltic concrete, asphalt or other surfacing materials approved by the Director of Building and Housing, maintained in good condition and free of debris and trash.

(b) Accessory off-street parking spaces shall be provided with wheel or bumper guards that are so located that no part of a parked vehicle will extend beyond such parking space.

(c) The driveway used to provide accessibility to accessory off-street parking spaces shall be so located and arranged to minimize traffic congestion. Therefore:

(1) Only one (1) such driveway shall be permitted for each one hundred (100) feet of frontage of the lot providing such parking spaces;

(2) No driveway shall be so located that there would be less than fifteen (15) feet between the point of tangency of the driveway apron radius and the outside crosswalk line at the intersection when such driveway is on the approach side of an intersection. In such cases as the driveway is on the leaving side of the intersection, the requirement shall be five (5) feet between the outside crosswalk line and the point of tangency of the driveway apron radius;

(3) The maximum width of such driveway shall be thirty (30) feet measured at right angles to the angle of the driveway entrance. Such driveway shall have an apron radius at the curb of not less than six (6) feet or a curb cut of not more than sixty (60) feet and shall provide a means for motor vehicles to enter and leave the parking facilities without obstructing traffic.

(Ord. No. 1767-07. Passed 4-21-08, eff. 4-28-08)

Shared Driveway Use/Easement Agreement

Whereas the properties of 3733 East 65th Street Cleveland, Ohio 44105 and 6512 Sebert Avenue Cleveland, Ohio 44105 are contiguous, sharing a common driveway and parking lot, the respective owners agree to their shared use.

Ran S. Romano

dotloop verified
02/16/21 12:26 PM EST
PMNE-8DZA-2ZKF-OZUE

Ran S. Romano
Owner- 6733 East 65th
Cleveland, Ohio 44105

Ray Sohrabi

dotloop verified
02/17/21 10:31 AM EST
FQE4-DTAR-6ARK-3ISU

Ray Sohrabi
Owner- 6512 Sebert Avenue
Cleveland, Ohio 44105

Architectural Rehabilitation Documents

FOR

Apartment / Retail Rehabilitation

3733 East 65th Street
Cleveland, Ohio 44135



VICINITY MAP

CLIENT

KRS Partners L.L.C.
1227 East 38th Street
East Ave. Ohio 44105
Contact: Mr. Rai S. Romano

SITE ADDRESS

3733 East 65th Street
Cleveland, Ohio 44135

Tax ID Number

120-04-027

OCCUPANCY / USE

RMD - Multiple Units in One Building

ZONING DISTRICT

Zoned L101 - Local Retail Business

CITY OF CLEVELAND PLANNER

Name: Caitlyn
Phone: (216) 664-2812
Email: icaitlyn@city.cleveland.oh.us

NARRATIVE

THE EXISTING STRUCTURE LOCATED AT 3733 EAST 65TH STREET (E. 65th St., Ohio 44135) IS AN ABANDONED, TWO-AND-ONE-HALF STORY, MASONRY / FRAMER STRUCTURE WHICH IS PRESENTLY DIVIDED INTO THREE (3) STOREFRONT GROUND LEVEL RETAIL SPACES, TWO (2) GROUND LEVEL APARTMENTS AND FIVE (5) SECOND FLOOR APARTMENTS. THERE ARE SEVERAL VIOLATIONS ON THE SITE, THE MOST RECENT OF WHICH IS SUMMARIZED ON VIOLATIONS: V0000796, DATED 03-01-20.

THE PROPOSED USE OF THE STRUCTURE WILL INCLUDE THE CORRECTION OF THE VIOLATIONS DESCRIBED IN PREVIOUSLY REFERENCED VIOLATION THE STREET LEVEL RETAIL AND ALL APARTMENT UNITS ARE TO BE REHABILITATED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES CURRENTLY IN EFFECT SINCE THE DATE OF THE ABOVE REFERENCED VIOLATION, THE OWNER HAS TAKEN MEASURES TO SECURE THE SITE FROM VANDALISM. IN ADDITION TO THE SECURITY BEING ENHANCED, THERE HAVE BEEN WINDOWS INSTALLED TO PROVIDE SECURITY.

THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE IMPROVEMENTS NEEDED TO BRING THE PROJECT INTO COMPLIANCE. THEY (THE DOCUMENTS) ARE GENERAL IN NATURE WITH MAJOR DEMOLITION / REPAIR AND FRAMING ITEMS OUTLINED. THESE DOCUMENTS ARE INTENDED FOR BUILDING PERMIT SUBMITTAL AS IT IS RECOGNIZED THAT DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE MECHANICAL COMPONENTS IN HVAC, PLUMBING AND MECHANICAL INSTALLATIONS AND THEREOF THESE ITEMS ARE CONSIDERED IN PLANLINE ON THESE DOCUMENTS.

THE INTENT IS TO CORRECT THE STRUCTURAL DEFICIENCIES OUTLINED IN THE VIOLATIONS NOTED ABOVE. FOLLOWING THE REDEMPTION PERIOD, THE RETAIL UNITS WILL BE REHABILITATED AND THE DWELLING UNITS WILL BE REHABILITATED INDIVIDUALLY AND THEREOF THE INCLUDED FLOOR PLANS FOR THE DWELLING UNITS ARE SUBJECT TO CHANGE WITH BUILDING DEPARTMENT APPROVAL BASED ON DAMAGE, UNIT SIZE, ECONOMICS, ETC.

DEFERRED SUBMITTAL REQUEST

DEFERRED SUBMITTALS ARE BEING REQUESTED FOR THE FOLLOWING:

PLUMBING PLAN
MECH. PLAN
ELECTRICAL PLAN

EXISTING USE

EXISTING BUILDING - CONDO/RETAIL

PROPOSED USE

RETAIL USE (STREET FARE WITH GROUND LEVEL RETAIL AND WALK-UP APARTMENTS)

CODE COMPLIANCE CHART

OHIO BUILDING CODE - 2017
OHIO RESIDENTIAL CODE - 2018
OHIO MECHANICAL CODE - 2018
OHIO PLUMBING CODE - 2018
ADA STANDARDS - 2010
NATIONAL ELECTRICAL CODE (NEC) - 2017
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) / NFPA 1
NATIONAL FIRE ALARM DESIGN LAW PUBLIC ACT 11, OF 1990 - AS AMENDED
ICC / AND AS 171-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
NFPA 601 FIRE DETECTION/ALARMERS

SHEET INDEX

- A-1 Cover Sheet
- A-2 Site Plan
- A-2a Rendered Site Plan
- A-3 Existing Basement Plan
- A-4 Foundation Repair Details
- A-5 First Floor Plan
- A-6 Second Floor Plan
- A-7 Existing West / South Exterior Elevations
- A-8 Existing East / North Exterior Elevations
- A-8a Rendered East Elevation
- A-9 Miscellaneous Details / Information
- A-10 General Notes and Specifications

Architect
10000 East 15th Street, Suite 100
Cleveland, Ohio 44135
Phone: (216) 481-1171
www.architect.com

Cover Sheet

Prepared by:
KRS Partners L.L.C.
Mr. Rai S. Romano

Project Location:
3733 East 65th Street
Cleveland, Ohio 44135

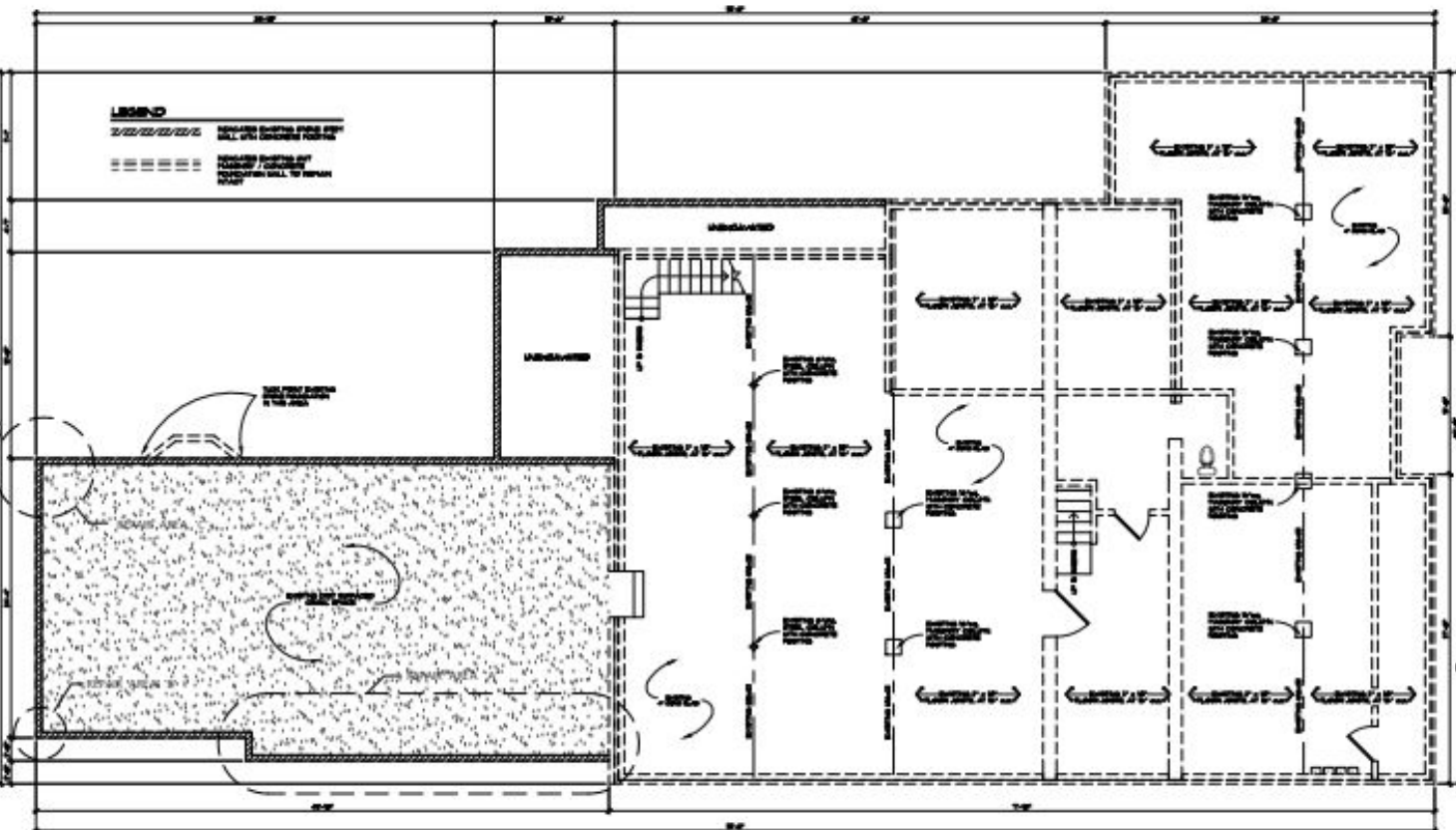
Issued To:
KRS Partners L.L.C.
Date: 03/15/2020

Drawn By:
Rai S. Romano
Approved By:
Rai S. Romano

Architect:
Architect
10000 East 15th Street, Suite 100
Cleveland, Ohio 44135
Phone: (216) 481-1171
www.architect.com

Contract No.:
19-0228

Job No.: 20-028
Sheet: 1 of 10
A-1



Existing
Basement Plan

Proprietor:
KRS Partners L.L.C.
Mr. Ron S. Romano

Project Location:
2732 East 60th Street
Cleveland, Ohio 44126

Issued for:
3 Architectural
2 Construction August 13, 2008

Drawn by:
Approved by:

- Proposed:
- ▲ **MECHANICAL ROOM**
 - ▲ **ELECTRICAL ROOM**
 - ▲ **STAIRS**

Contract No. 08-028
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Job No. 20-028

A-3

Sheet 3 of 10

EXISTING CONDITIONS



PHOTO W PHOTO V PHOTO U PHOTO T



PHOTO W PHOTO V



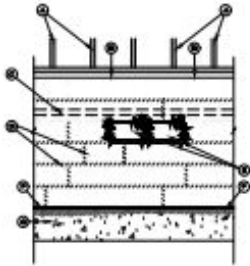
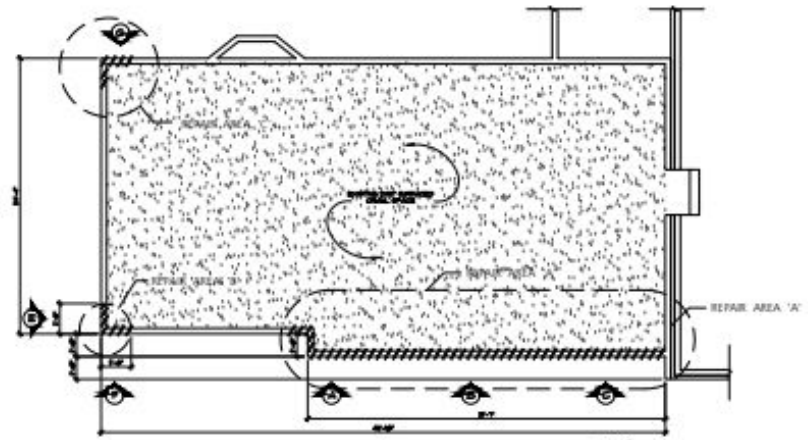
PHOTO W

REPAIR MATERIAL SPECIFICATIONS:

- 1. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
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- 3. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
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- 20. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

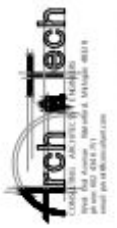
DEMOLITION / EMBASEMENT REPAIR NOTES:

- 1. ALL DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
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- 20. ALL DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



- DETAIL KEY NOTES:**
- 1. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
 - 2. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
 - 3. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
 - 4. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
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 - 10. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR

FOUNDATION WALL REPAIR DETAIL
SCALE: 1/2" = 1'-0"



Foundation Repair Details

Proprietor:
KRS Partners L.L.C.
Mr. Ron S. Romano

Project Location:
2222 East 95th Street
Cleveland, Ohio 44135

Drawn By: [Signature]
Checked By: [Signature]

Date: [Date]
Scale: [Scale]

- 1. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
- 2. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
- 3. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR
- 4. REPAIR WITH 4000 PSI PORTLAND CEMENT MORTAR

Contract No.: [Number]
Project No.: [Number]

RESOLUTION NOTES:

1. ALL FINISHES SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING FOUNDATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
4. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY STRUCTURAL BRACING AND SHORING TO MAINTAIN THE STABILITY OF ALL EXISTING STRUCTURES DURING CONSTRUCTION.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SUCH UTILITIES DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SUCH UTILITIES DURING CONSTRUCTION.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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15. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SUCH UTILITIES DURING CONSTRUCTION.

UNIT NUMBERS 100 AND 101 ARE RESIDENTIAL.
 UNIT NUMBERS 102, 103, AND 104 ARE RETAIL / COMMERCIAL.

KEY NOTES:

1. REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED / REPLACED
2. REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED
3. REPAIR OR REPLACE EXISTING ROOFING TO BE REPLACED
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COMMERCIAL UNIT NOTE:

COMMERCIAL UNITS ARE TO BE CONSTRUCTED TO ALL APPLICABLE LOCAL ORDINANCES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

RESIDENTIAL UNIT NOTE:

RESIDENTIAL UNITS ARE TO BE CONSTRUCTED TO ALL APPLICABLE LOCAL ORDINANCES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

AREA TABULATION:

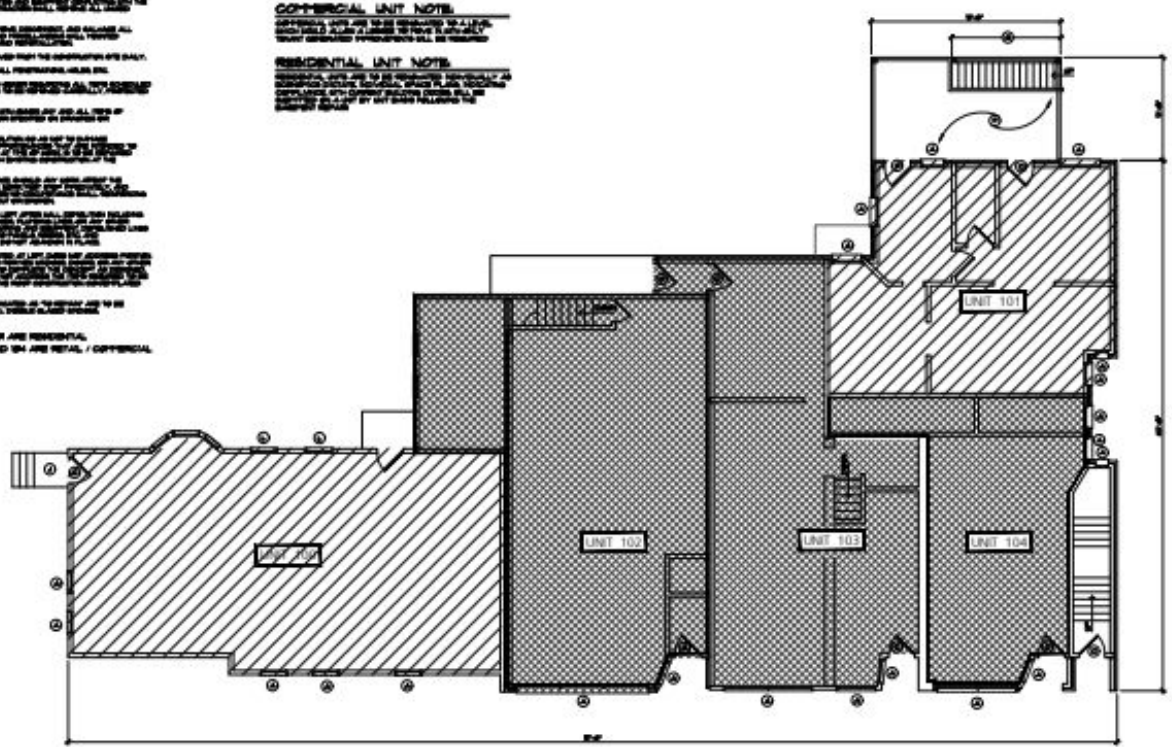
| AREA | DESCRIPTION | AREA (SQ. FT.) |
|------|---------------------|----------------|
| 100 | RETAIL / COMMERCIAL | 10,000 |
| 101 | RESIDENTIAL | 5,000 |
| 102 | RETAIL / COMMERCIAL | 10,000 |
| 103 | RETAIL / COMMERCIAL | 10,000 |
| 104 | RETAIL / COMMERCIAL | 10,000 |

ROOF PLAN:

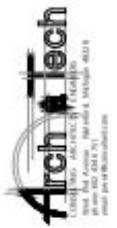
| AREA | DESCRIPTION | AREA (SQ. FT.) | | | | | | | |
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| 104 | REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED | | | | | | | | |

LEGEND:

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| ---- | REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED |
| ----- | REPAIR OR REPLACE EXISTING ROOFING TO BE REPLACED |
| | REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED AND REPLACED |
| | REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED |
| | REPAIR OR REPLACE EXISTING ROOFING TO BE REPAIRED |



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



First Floor Plan

Proprietor:
 KRS Partners L.L.C.
 Mr. Ron S. Romano

Project Location:
 3733 East 65th Street
 Cleveland, Ohio 44135

Issued For:
 preliminary construction
 August 18, 2010

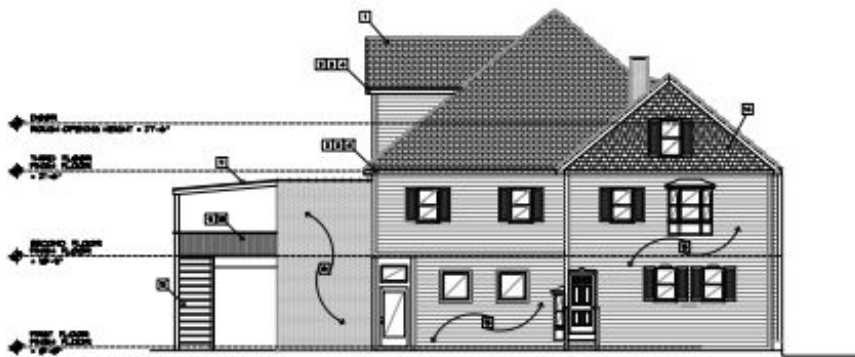
Drawn:
 designed
 approved

Architect:
 ARCHITECT
 ARCHITECT
 ARCHITECT

Contractor:
 ARCHITECT
 ARCHITECT
 ARCHITECT



EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

GENERAL NOTES:

1. ALL 100% FINISH GRADE, BASE TRIM AND FINISH BOARDS TO BE REPLACED SHALL SHALL BE OF EQUIVALENT QUALITY.
2. THERE SHALL BE NO HANDHELD SPACE ON THE THIRD FLOOR.
3. THE BASEMENT SHALL BE UTILIZED FOR STORAGE FOR THE TRUCK, HOIST, ETC.
4. EXISTING ROOFING SHALL BE TO BE REMOVED AND REPLACED WITH ASPHALT/FLY ASH WHICH SHALL BE WITH 1/2" OF GRANULAR WITH DRAINALLY SLOPED DOWN.

- ELEVATION NOTES:**
1. REMOVE EXISTING SHINGLES AND SPICES TO MATCH EXISTING ROOF
 2. REPLACE TRIM WITH 1" x 6" EQUIVALENT TRIM
 3. REPLACE EXISTING WITH 1" x 6" EQUIVALENT TRIM
 4. REPLACE TRIM WITH 1" x 6" EQUIVALENT TRIM
 5. REPLACE 7" x 6" FINISH
 6. REMOVE EXISTING TRIM AND REPLACE WITH 1" x 6" EQUIVALENT TRIM
 7. REPLACE EXISTING TRIM WITH 1" x 6" EQUIVALENT TRIM
 8. REMOVE AND REPLACE EXISTING EXTERIOR DOOR WITH 1" x 6" EQUIVALENT DOOR
 9. REMOVE AND REPLACE EXISTING EXTERIOR WINDOW WITH 1" x 6" EQUIVALENT WINDOW
 10. REMOVE AND REPLACE EXISTING EXTERIOR WINDOW WITH 1" x 6" EQUIVALENT WINDOW
 11. REMOVE AND REPLACE EXISTING EXTERIOR WINDOW WITH 1" x 6" EQUIVALENT WINDOW
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 100. REMOVE AND REPLACE EXISTING EXTERIOR WINDOW WITH 1" x 6" EQUIVALENT WINDOW



East Elevation
North Elevation

Prepared by:
KRS Partners L.L.C.
Mr. Ron S. Romano

Project Location:
2722 East 45th Street
Cleveland, Ohio 44135

Drawn by: _____
Checked by: _____
Date: _____

NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
- 2. ALL MATERIALS SHALL BE OF QUALITY EQUIVALENT TO THAT SPECIFIED IN THE CONTRACT DOCUMENTS.
- 3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- 7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND CLEAN MANNER AT ALL TIMES.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.
- 9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
- 11. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 12. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- 13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND CLEAN MANNER AT ALL TIMES.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.
- 15. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.



EAST ELEVATION
 2024.08.14.10



East Elevation

Proprietor:
 KRS Partners L.L.C.
 Mr. Ron S. Romano

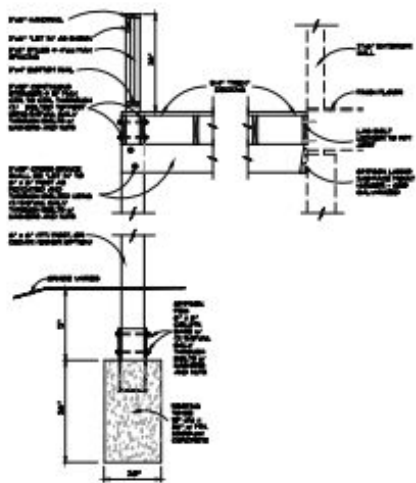
Project Location:
 2222 East 45th Street
 Cleveland, Ohio 44116

Drawn for:
 preliminary construction August 14, 2024

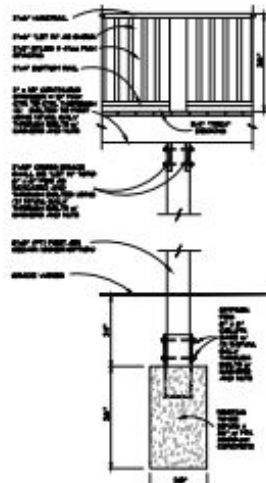
Drawn by: John J. Taylor
 designed by: J. Taylor
 approved by: _____

Revisions:

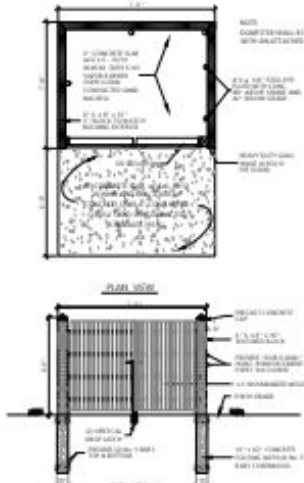
DATE: 2024.08.14
 20-028



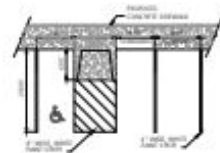
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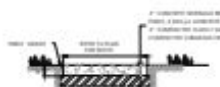
SECTION 'B'
SCALE 1/2\"/>



PROPOSED DUMPSTER ENCLOSURE
SCALE 1/2\"/>



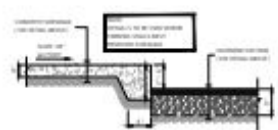
TYPICAL PARKING STALL DIMENSIONS



PROPOSED CONCRETE SIDEWALK
SCALE 1/2\"/>



PROPOSED ASPHALT PAVEMENT SECTION
SCALE 1/2\"/>



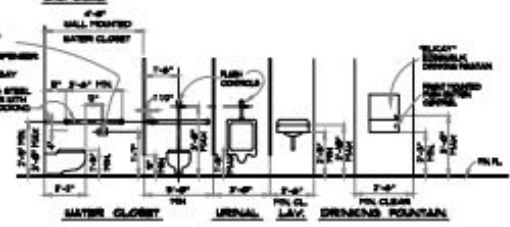
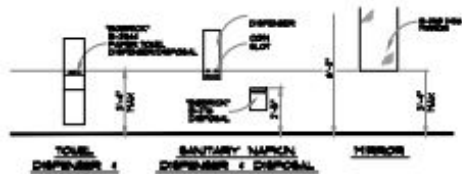
PROPOSED ASPHALT PAVEMENT SECTION
SCALE 1/2\"/>

COMMERCIAL ROOM FINISH SCHEDULE

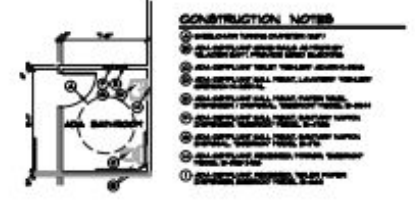
| ROOM NAME | CEILING | WALL | FLOOR | DOOR | FINISH |
|-------------------|----------|----------|----------|----------|----------|
| REAR BALCONY | CONCRETE | CONCRETE | CONCRETE | CONCRETE | CONCRETE |
| RESTROOM | AC | GYP | GR | GR | GR |
| WATER CLOSET | AC | GYP | GR | GR | GR |
| URINAL | AC | GYP | GR | GR | GR |
| DRINKING FOUNTAIN | AC | GYP | GR | GR | GR |

RESIDENTIAL ROOM FINISH SCHEDULE

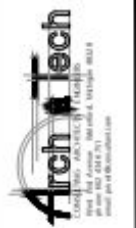
| ROOM NAME | CEILING | WALL | FLOOR | DOOR | FINISH |
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| REAR BALCONY | CONCRETE | CONCRETE | CONCRETE | CONCRETE | CONCRETE |
| RESTROOM | AC | GYP | GR | GR | GR |
| WATER CLOSET | AC | GYP | GR | GR | GR |
| URINAL | AC | GYP | GR | GR | GR |
| DRINKING FOUNTAIN | AC | GYP | GR | GR | GR |



ADA BATHROOM DETAIL - ONE ADA BATHROOM PER COMMERCIAL UNIT
SCALE 1/2\"/>



ADA REST ROOM DETAILS
SCALE 1/2\"/>



Miscellaneous
Details / Information

Prepared by:
KRS Partners L.L.C.
Mr. Ran S. Romano

Project Location:
2733 East 40th Street
Cleveland, Ohio 44116

Issued for:
KRS Partners L.L.C.
August 13, 2020

Drawn by: [Signature]
Checked by: [Signature]
Approved by: [Signature]

Project: **RESIDENTIAL**

Sheet: **A-9**

Scale: 1/2" = 1'-0"

Thank you.

We appreciate your time and attention and look forward to working with you to build Cleveland's future.



Southeast Design Review Case



June 4, 2021

SE2021-012 - Proposed Demolition of a 2-Story Residential Structure:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 2868 East 114th Street

Project Representative: Valencia White, City of Cleveland

Southeast Design Review Case



June 4, 2021

Proposed Demolition of a 2 ½-Story Residential Structure: Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 10704 Union Avenue

Project Representative: Valencia White, City of Cleveland

CITY PLANNING COMMISSION

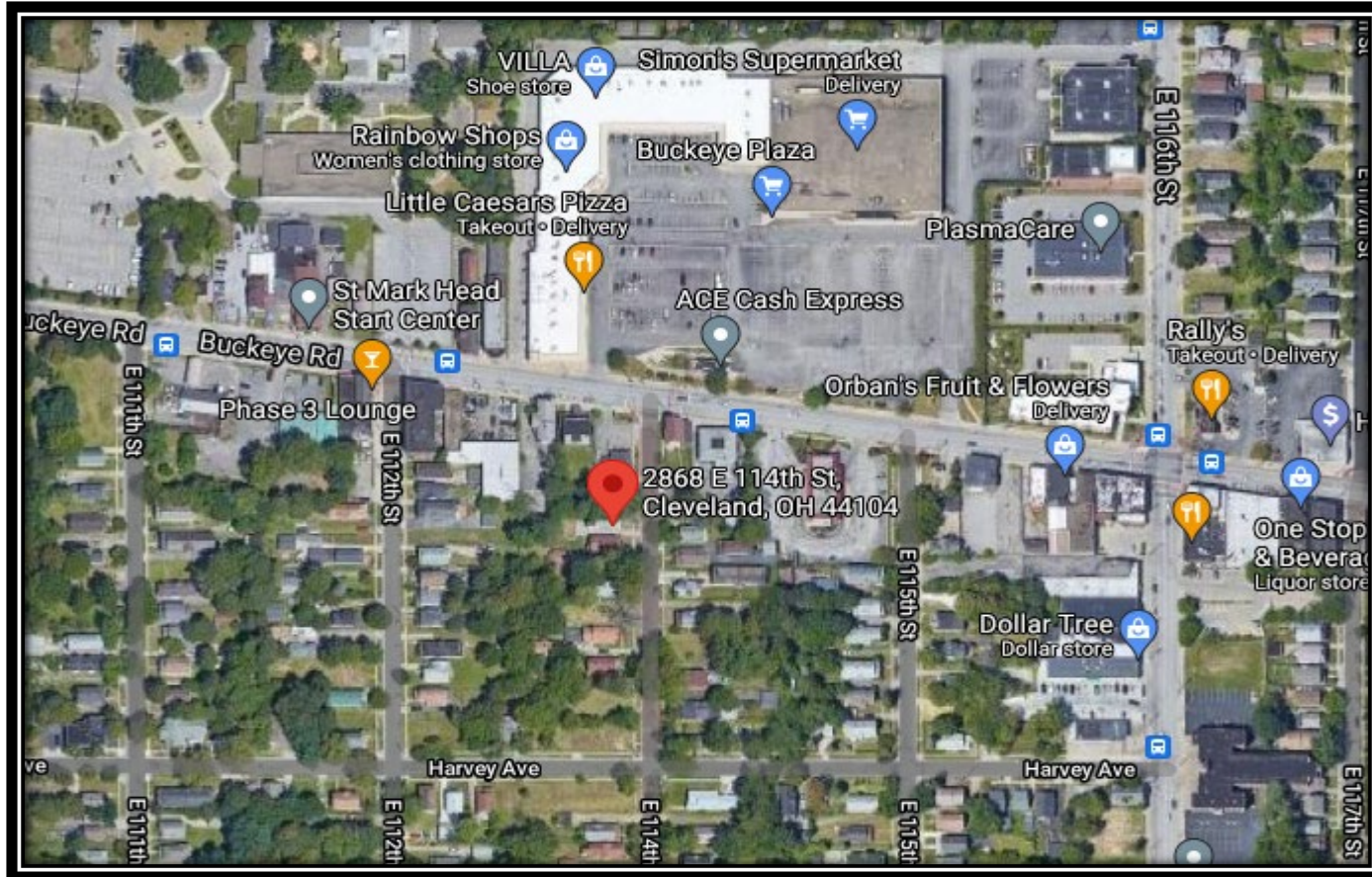


Proposed Demolition of 2868 E. 114th St.

2868 E. 114th St.

- **Demolition:** We are seeking the approval of the complete demolition of the 1.5 story residential structure located at 2868 E. 114th St.
- **Current Owner:** Over 13 years. Current owner had title to the property since March 2008 and had not tried to bring it out of condemnation.
- **Condemned & vacant:** Over 2 years- This structure has been condemned since August 2019.
- **Outstanding Taxes:** \$20,936.79, which includes, among other delinquencies, over \$157.77 in board-up fees.
- **Site Plan:** The remaining land will be cleared, graded, and seeded with grass.

Site Location



Context Location













Site Finish Plan



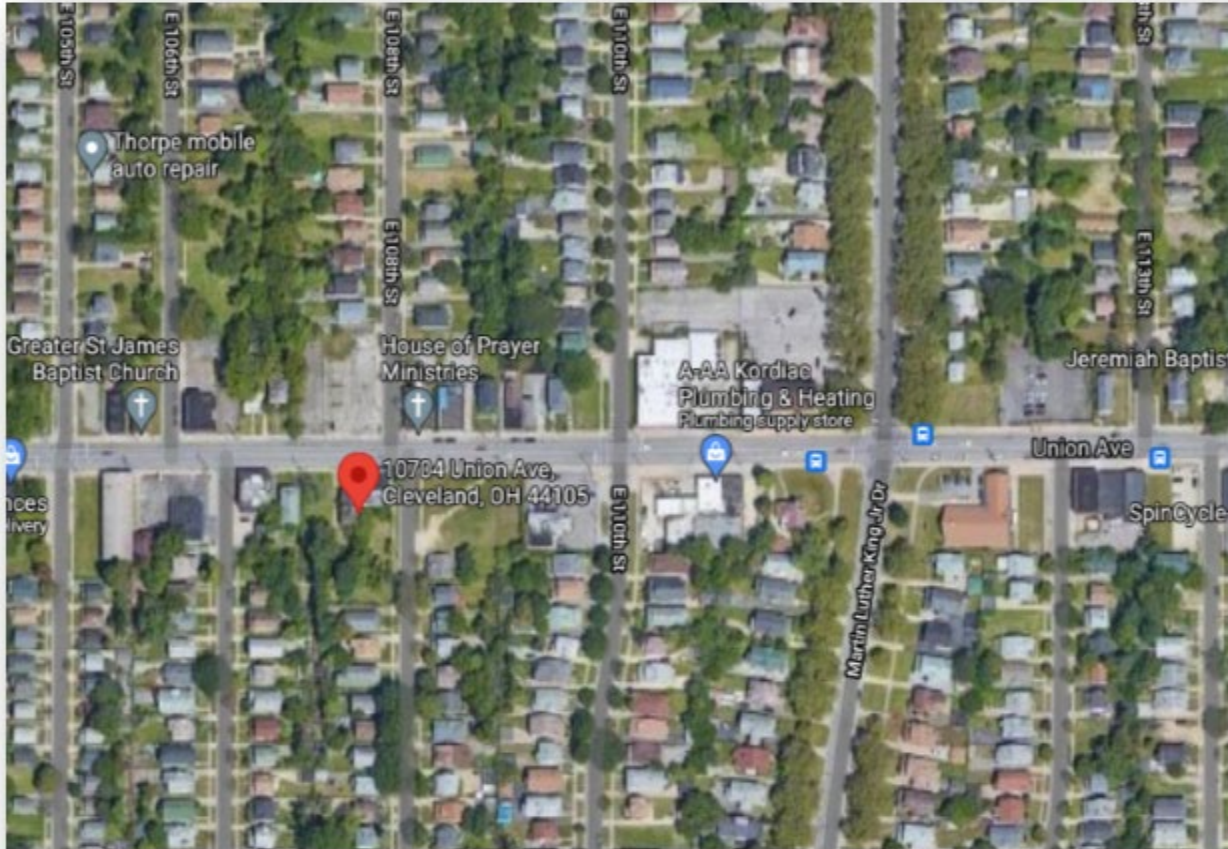


Proposed Demolition of 10704 Union Avenue

10704 Union Avenue

- **Demolition:** We are seeking the approval of the complete demolition of 1 residential brick structure and garage at 10704 Union Ave.
- **Current Owner:** Over 30 years– Current owner has title to the property since July 1990 and has not tried to redeem the property or bring it out of condemnation.
- **Condemned and Vacant:** Over 3 years - This structure has been condemned since June 2018 and vacant since at least December 2016.
- **Taxes:** \$7645.17
- **Site Plan:** The remaining land will be cleared, graded, and seeded with grass.

Site Location



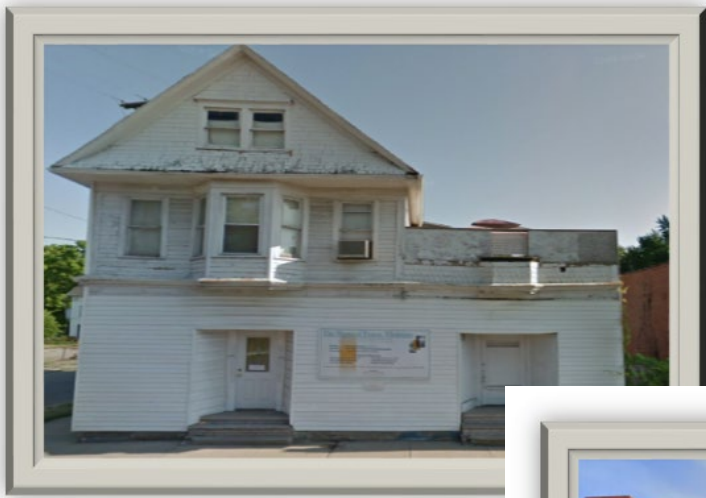
Site Context











Site Plan



Euclid Corridor Design Review Case



June 4, 2021

EC2021-002 - Midtown Housing Development New Construction: Seeking Final Approval

Project Address: 7218 Euclid Avenue

Project Representative: John Wagner, City Architecture

Note: this project received Schematic Design Approval by the Planning Commission on February 19, 2021.

Euclid Corridor Design Review Case



June 4, 2021

EC2021-001 – Proposed Demolition of a 3-Story Former Commercial Building aka “Allen-Sullivan House”: Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Address: 7218 Euclid Avenue

Project Representative: John Wagner, City Architecture

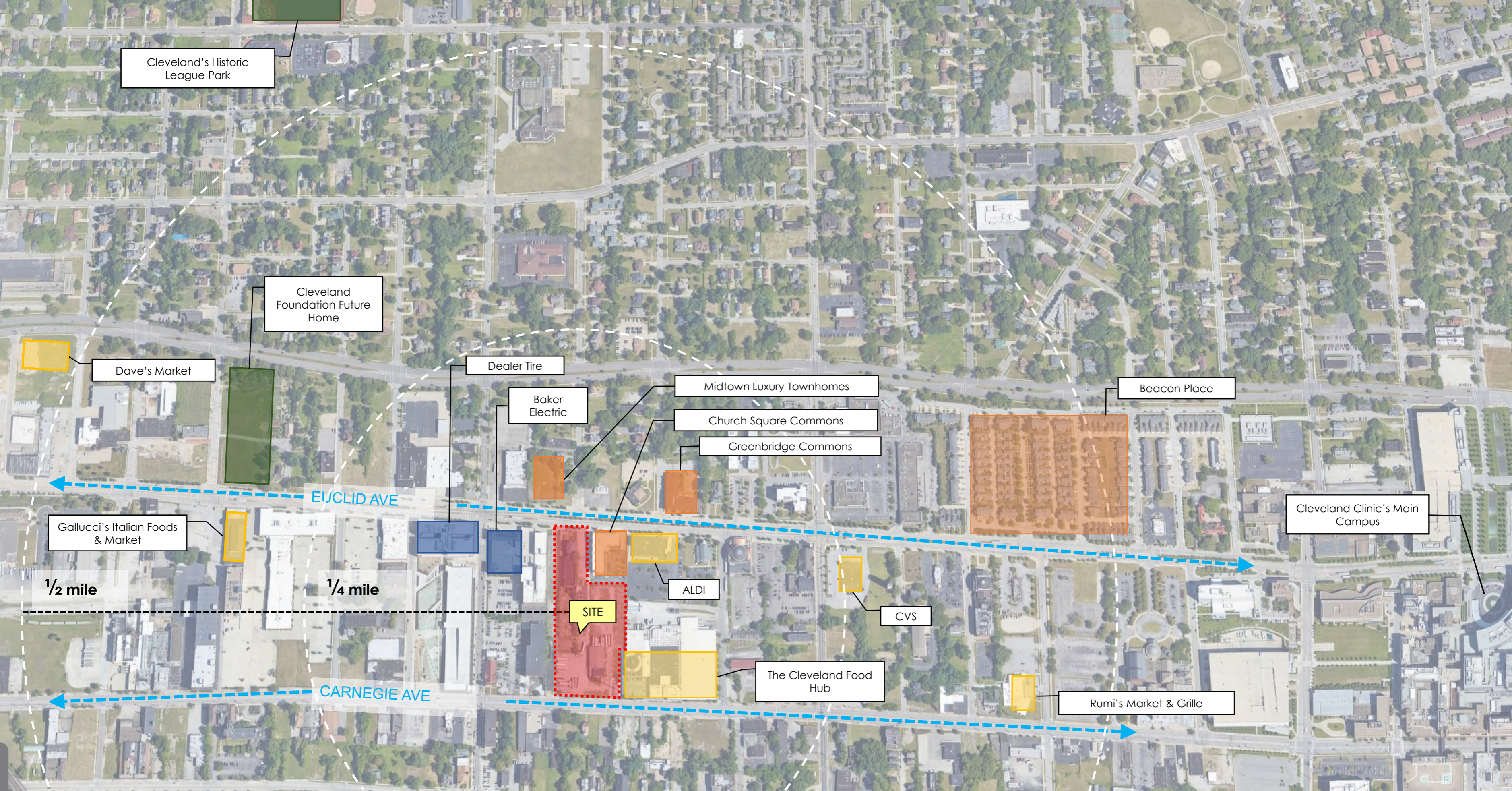
Note: the Planning Commission took no action on this item on February 19, 2021.

CITY

+

MIDTOWN HOUSING DEVELOPMENT

Signet Real Estate Group | Design Review & Planning Commission | 5.20.21



Cleveland's Historic League Park

Cleveland Foundation Future Home

Dave's Market

Dealer Tire

Baker Electric

Midtown Luxury Townhomes

Church Square Commons

Greenbridge Commons

Beacon Place

Gallucci's Italian Foods & Market

EUCLID AVE

Cleveland Clinic's Main Campus

1/2 mile

1/4 mile

SITE

ALDI

CVS

CARNEGIE AVE

The Cleveland Food Hub

Rumi's Market & Grille



Existing Conditions Aerial







Schematic Approval – February 4, 2021 (4 months ago)

Selected Contractor – Snavely Group
On going pricing and value engineering

Home Relocation Partners – Signet and Midtown
We have reached out to ten different developer/architecture firms including the City of Cleveland. Additionally, we have reached out to ten different contractors/house relocation firms. We have conducted two different site visits for interested parties. We have received little to no interest.

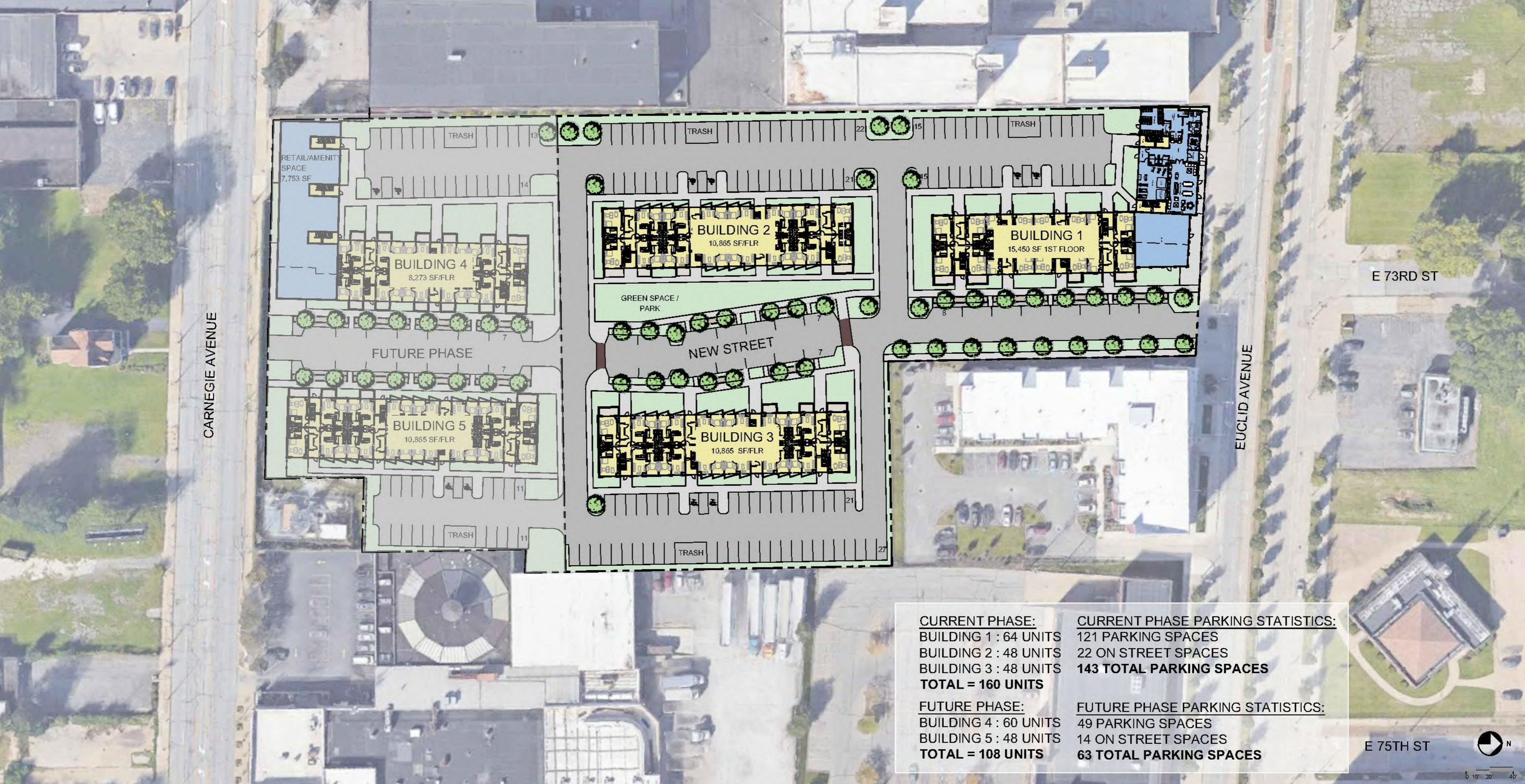
Identified a potential location – Midtown
A parcel was identified on E 73rd that could potentially be used to relocate the house to.

Relocation and Restoration – Signet, Midtown and Contractor
Estimates for the rehab range between \$2.25M to \$2.75M
Estimates to relocation of the house between \$400K - \$500K including the site work beforehand.
Signet is/was willing to contribute to relocating the house

Feasibility – Midtown
Concluded it is not economically viable without subsidy upwards of \$3M.
Renovation could potentially be added to a new construction residential project.
More land would be needed, thus adding further acquisition costs.
Rents would be need to be significantly higher than Cleveland market to be profitable.
Midtown is not supportive of moving a vacant building to sit vacant with no renovation plan in place.

Documenting History – Signet, City Architecture & Snavely
Document Home to NPS standards – Signet to hire Cleveland Restoration Society
Salvage Materials for reuse in development including foundations, masonry, woodwork etc.
Allow architectural salvage company to save any important materials for reuse or upcycle
Provide Historic Photos and Narrative of homes history within the developments common area





| | |
|--------------------------|--|
| CURRENT PHASE: | CURRENT PHASE PARKING STATISTICS: |
| BUILDING 1 : 64 UNITS | 121 PARKING SPACES |
| BUILDING 2 : 48 UNITS | 22 ON STREET SPACES |
| BUILDING 3 : 48 UNITS | 143 TOTAL PARKING SPACES |
| TOTAL = 160 UNITS | |
| FUTURE PHASE: | FUTURE PHASE PARKING STATISTICS: |
| BUILDING 4 : 60 UNITS | 49 PARKING SPACES |
| BUILDING 5 : 48 UNITS | 14 ON STREET SPACES |
| TOTAL = 108 UNITS | 63 TOTAL PARKING SPACES |



Site Plan (Previous Site Plan)

CARNEGIE AVENUE

EUCLID AVENUE

NEW STREET

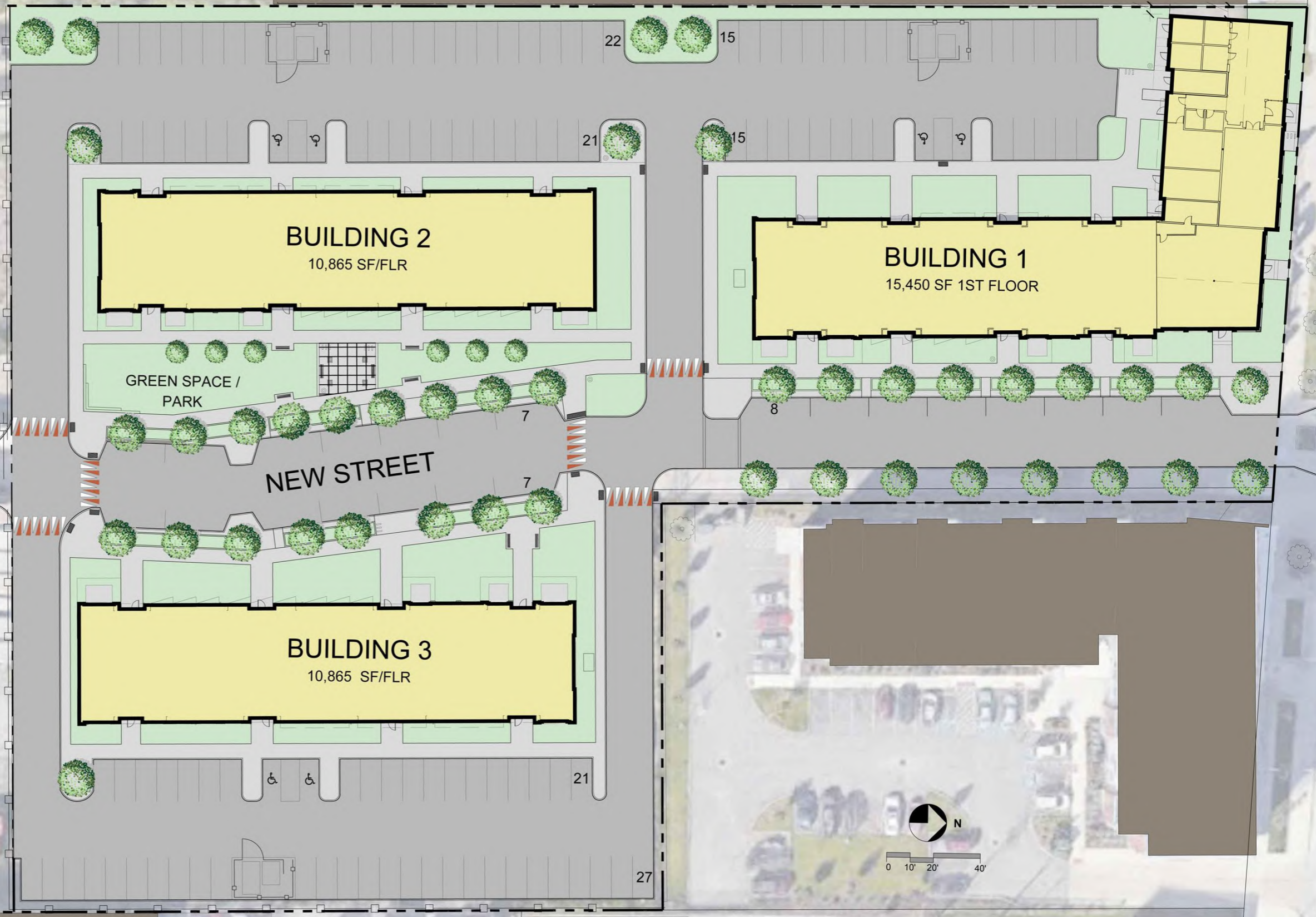
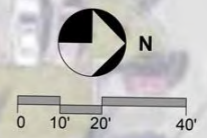
NEW STREET

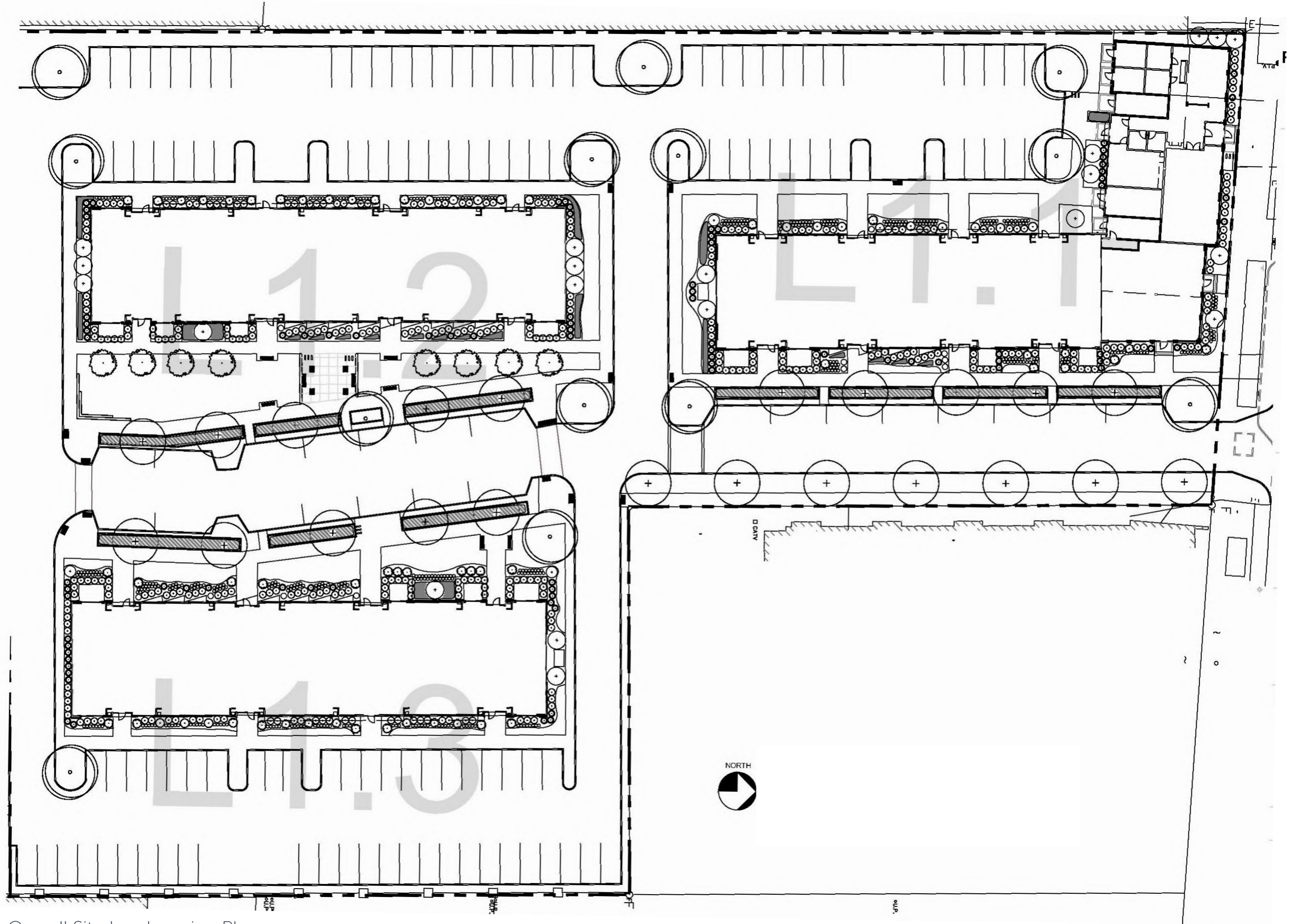
BUILDING 2
10,865 SF/FLR

BUILDING 1
15,450 SF 1ST FLOOR

BUILDING 3
10,865 SF/FLR

GREEN SPACE / PARK





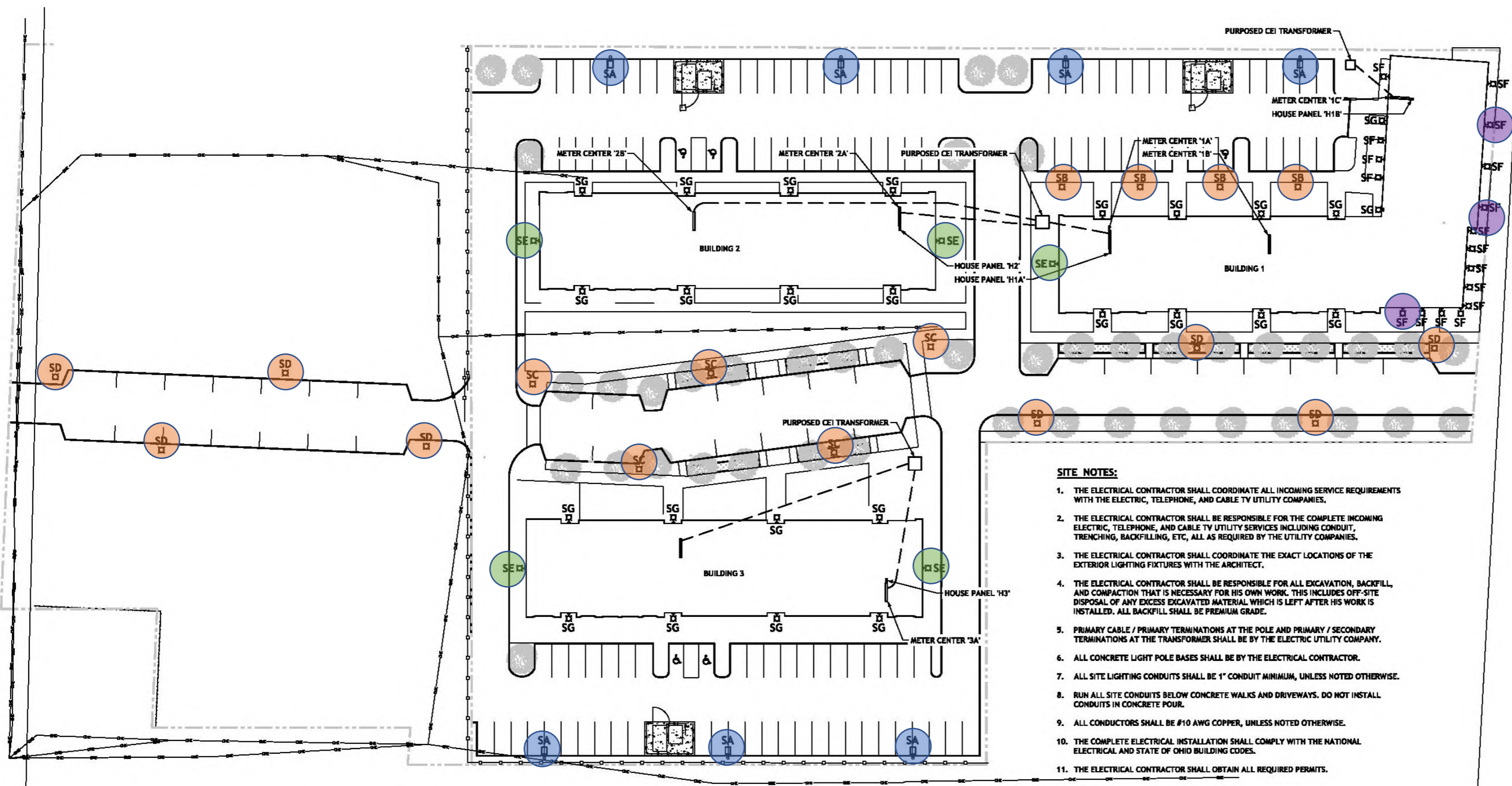
Overall Site Landscaping Plan



Site Landscaping Materials



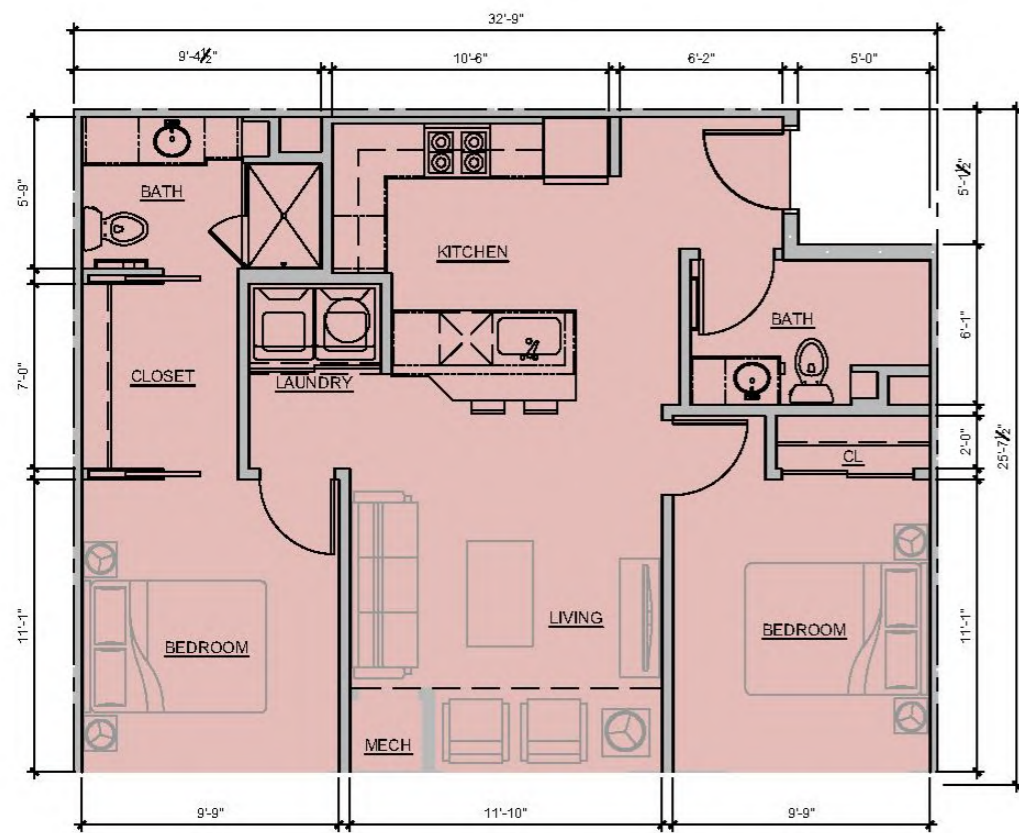
Site Furnishing



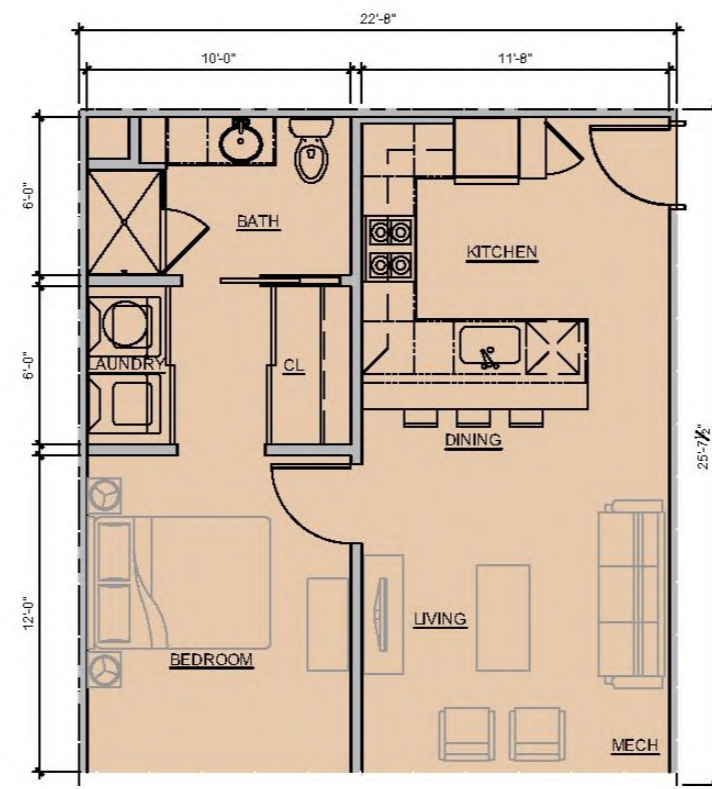
- SITE NOTES:**
1. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL INCOMING SERVICE REQUIREMENTS WITH THE ELECTRIC, TELEPHONE, AND CABLE TV UTILITY COMPANIES.
 2. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INCOMING ELECTRIC, TELEPHONE, AND CABLE TV UTILITY SERVICES INCLUDING CONDUIT, TRENCHING, BACKFILLING, ETC, ALL AS REQUIRED BY THE UTILITY COMPANIES.
 3. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE EXACT LOCATIONS OF THE EXTERIOR LIGHTING FIXTURES WITH THE ARCHITECT.
 4. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, BACKFILL, AND COMPACTION THAT IS NECESSARY FOR HIS OWN WORK. THIS INCLUDES OFF-SITE DISPOSAL OF ANY EXCESS EXCAVATED MATERIAL WHICH IS LEFT AFTER HIS WORK IS INSTALLED. ALL BACKFILL SHALL BE PREMIUM GRADE.
 5. PRIMARY CABLE / PRIMARY TERMINATIONS AT THE POLE AND PRIMARY / SECONDARY TERMINATIONS AT THE TRANSFORMER SHALL BE BY THE ELECTRIC UTILITY COMPANY.
 6. ALL CONCRETE LIGHT POLE BASES SHALL BE BY THE ELECTRICAL CONTRACTOR.
 7. ALL SITE LIGHTING CONDUITS SHALL BE 1" CONDUIT MINIMUM, UNLESS NOTED OTHERWISE.
 8. RUN ALL SITE CONDUITS BELOW CONCRETE WALKS AND DRIVEWAYS. DO NOT INSTALL CONDUITS IN CONCRETE POUR.
 9. ALL CONDUCTORS SHALL BE #10 AWG COPPER, UNLESS NOTED OTHERWISE.
 10. THE COMPLETE ELECTRICAL INSTALLATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL AND STATE OF OHIO BUILDING CODES.
 11. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.



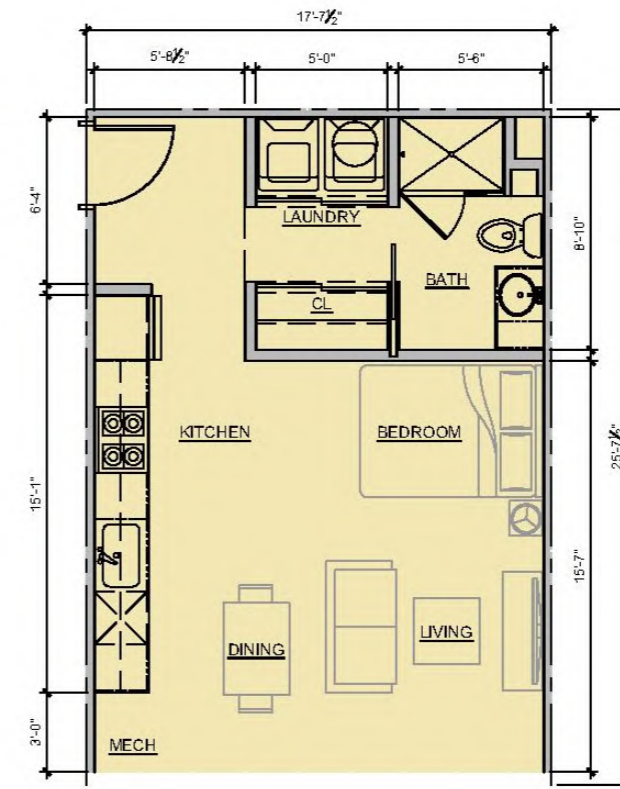
Site Lighting



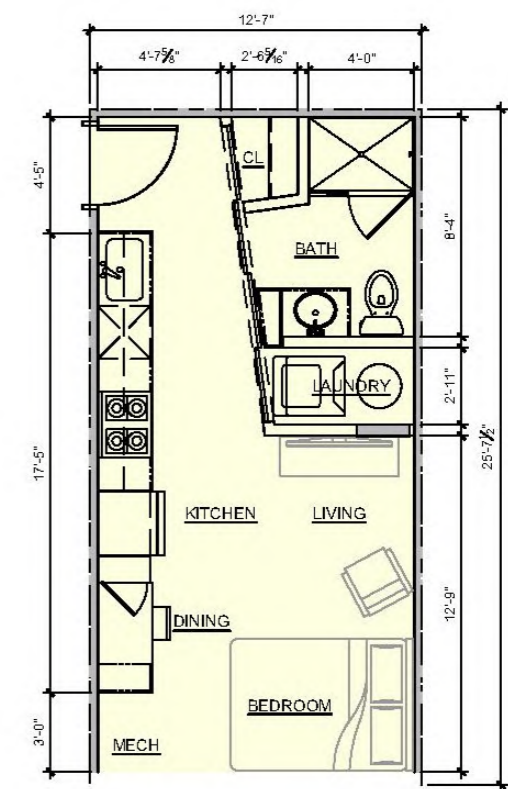
2 Bedroom



1 Bedroom



Studio



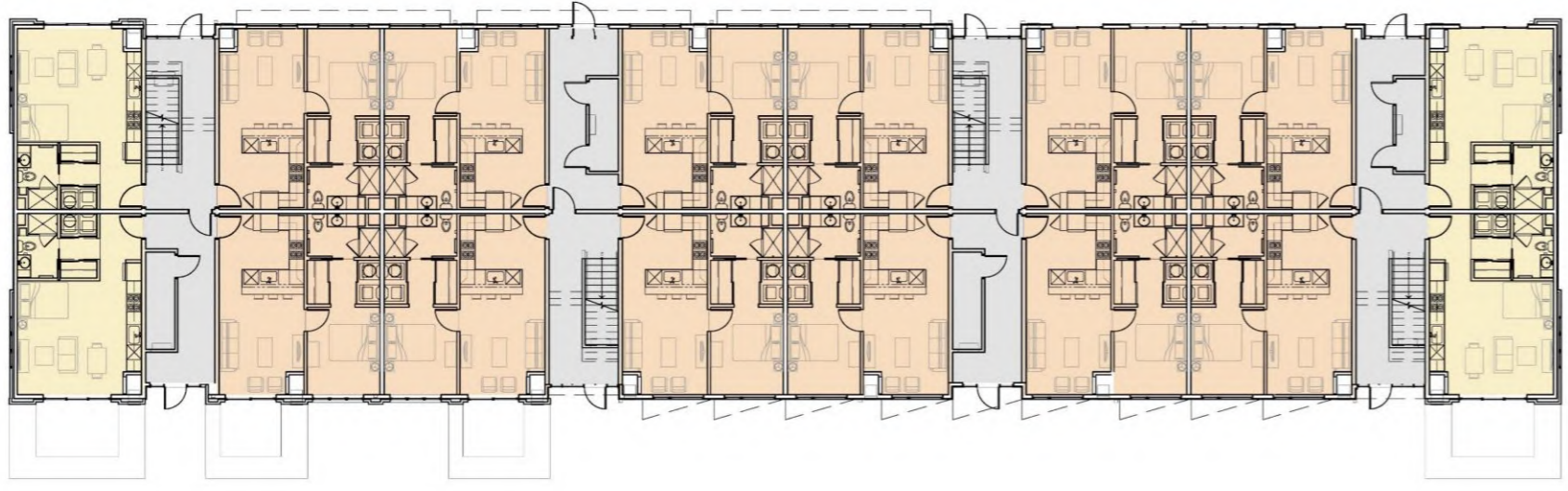
Micro



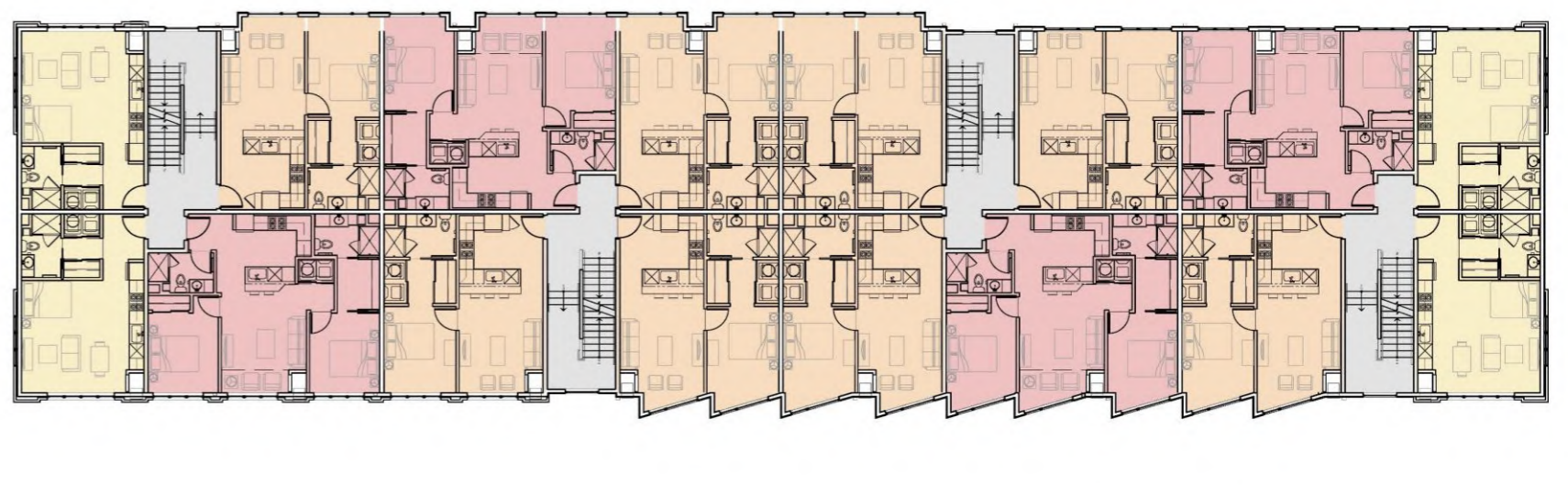
Building 1 Ground Floor Plan



Building 1 Ground Typical Upper Plan



Building 2 & 3 Ground Floor Plan



Building 2 & 3 Ground Typical Upper Plan





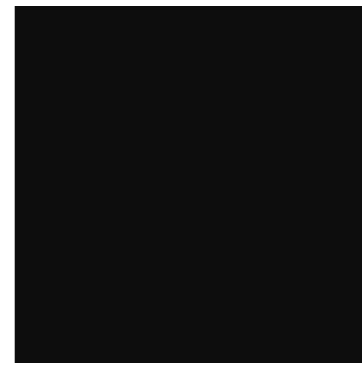
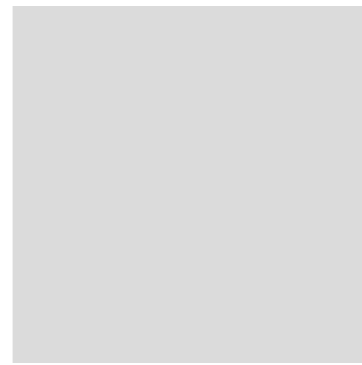
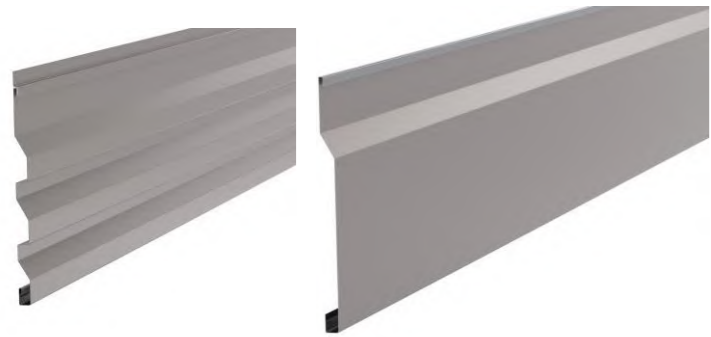




Building 1- Exterior Elevations (Front and Rear Elevations / Typical Side Elevation)



Building 2 & 3 - Exterior Elevations (Typical Front and Rear Elevations)



Exterior Materials



Aerial Perspective Looking Southwest



View Along Euclid Avenue



New Street and Park View looking North



View along Euclid Avenue

Euclid Corridor Design Review Case



June 4, 2021

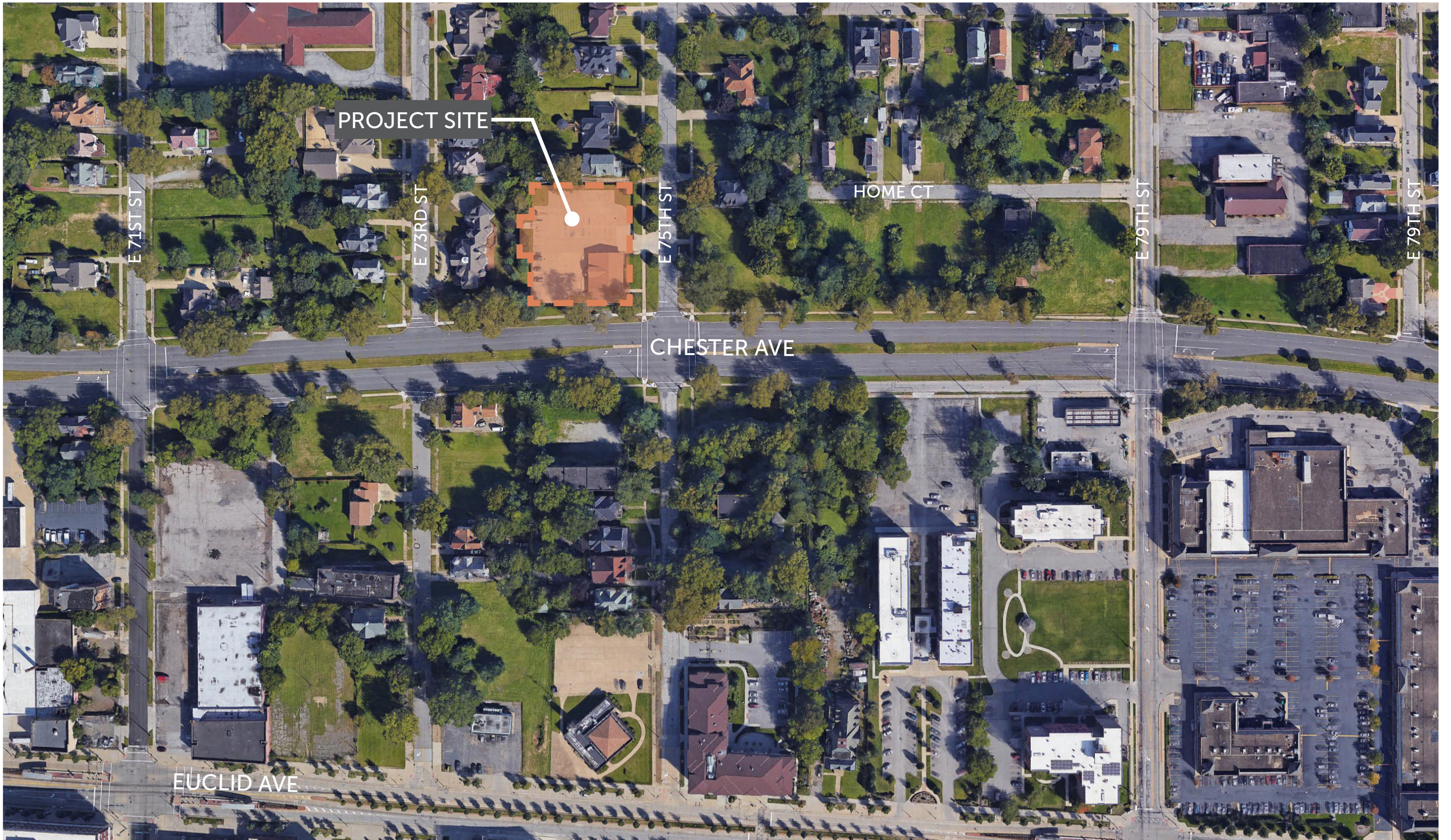
EC2020-008 - Chester 75 New Construction: Seeking Final Approval

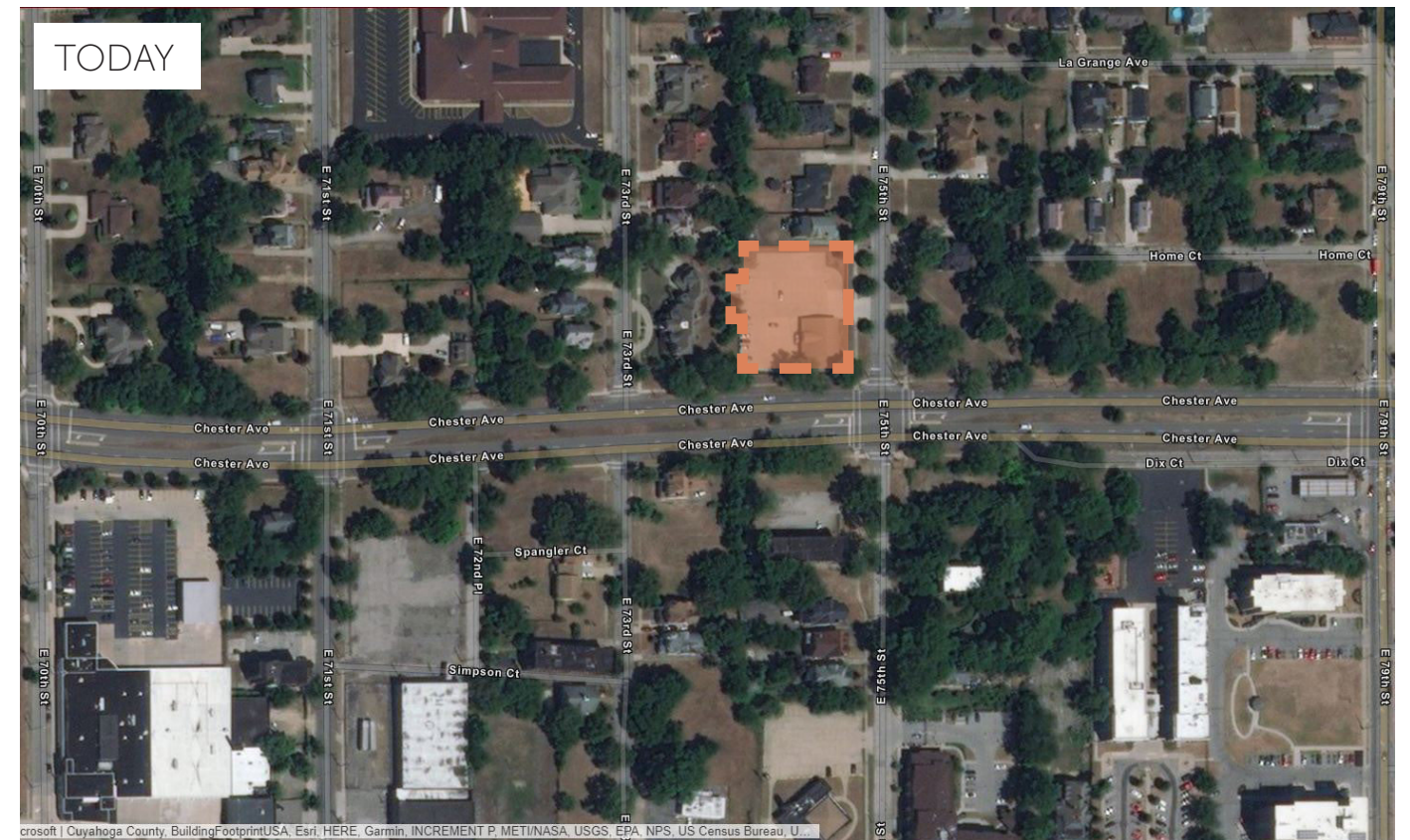
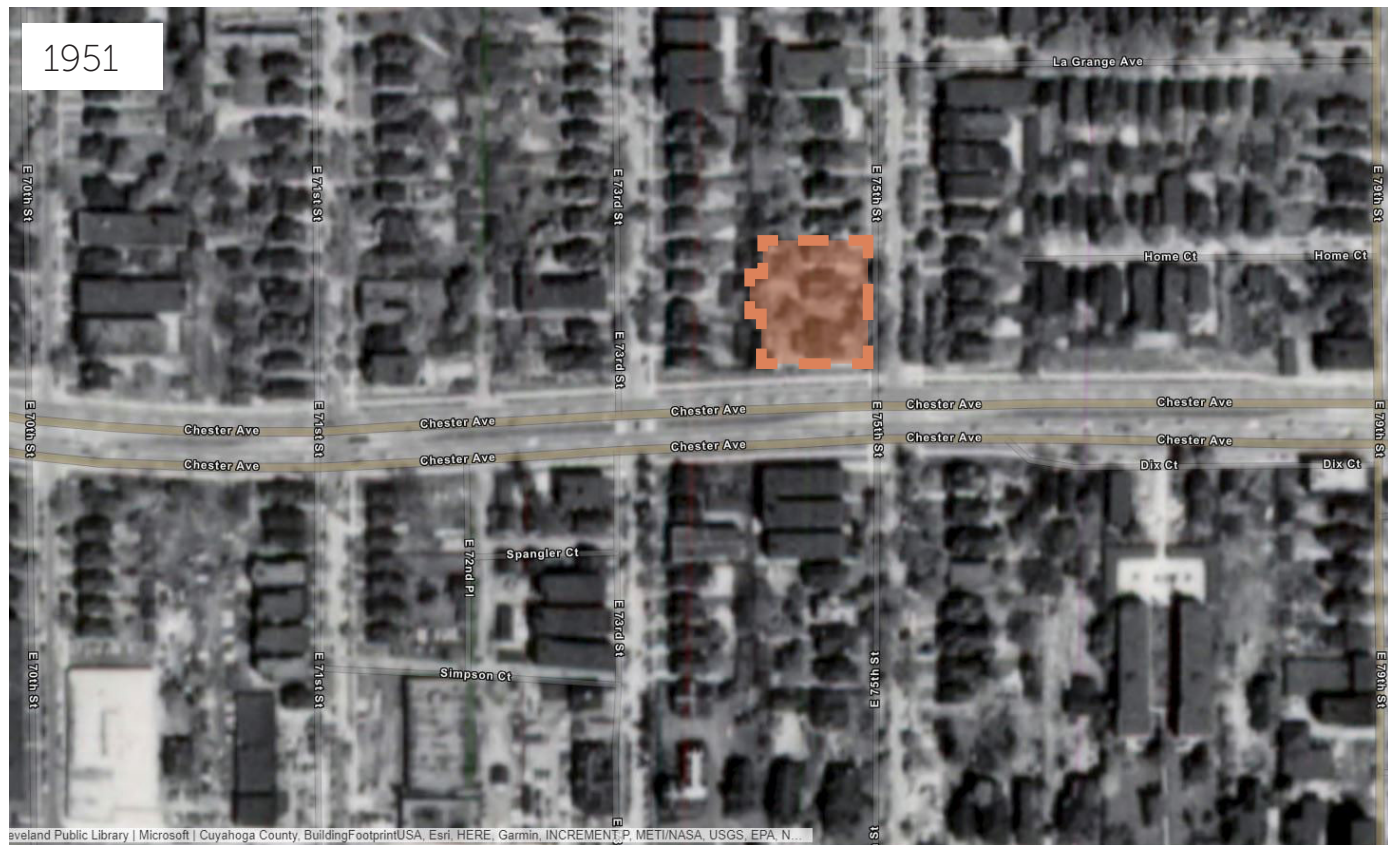
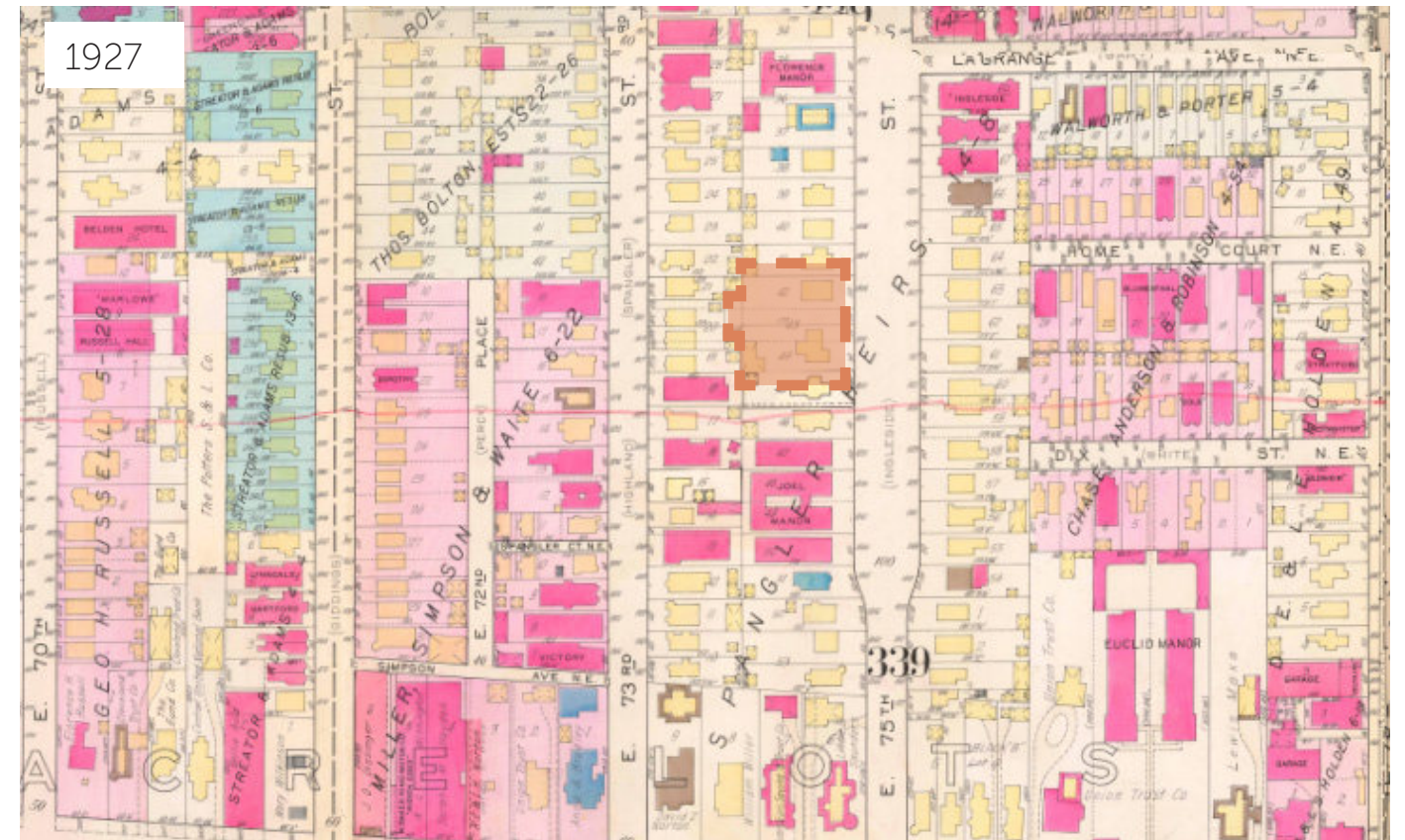
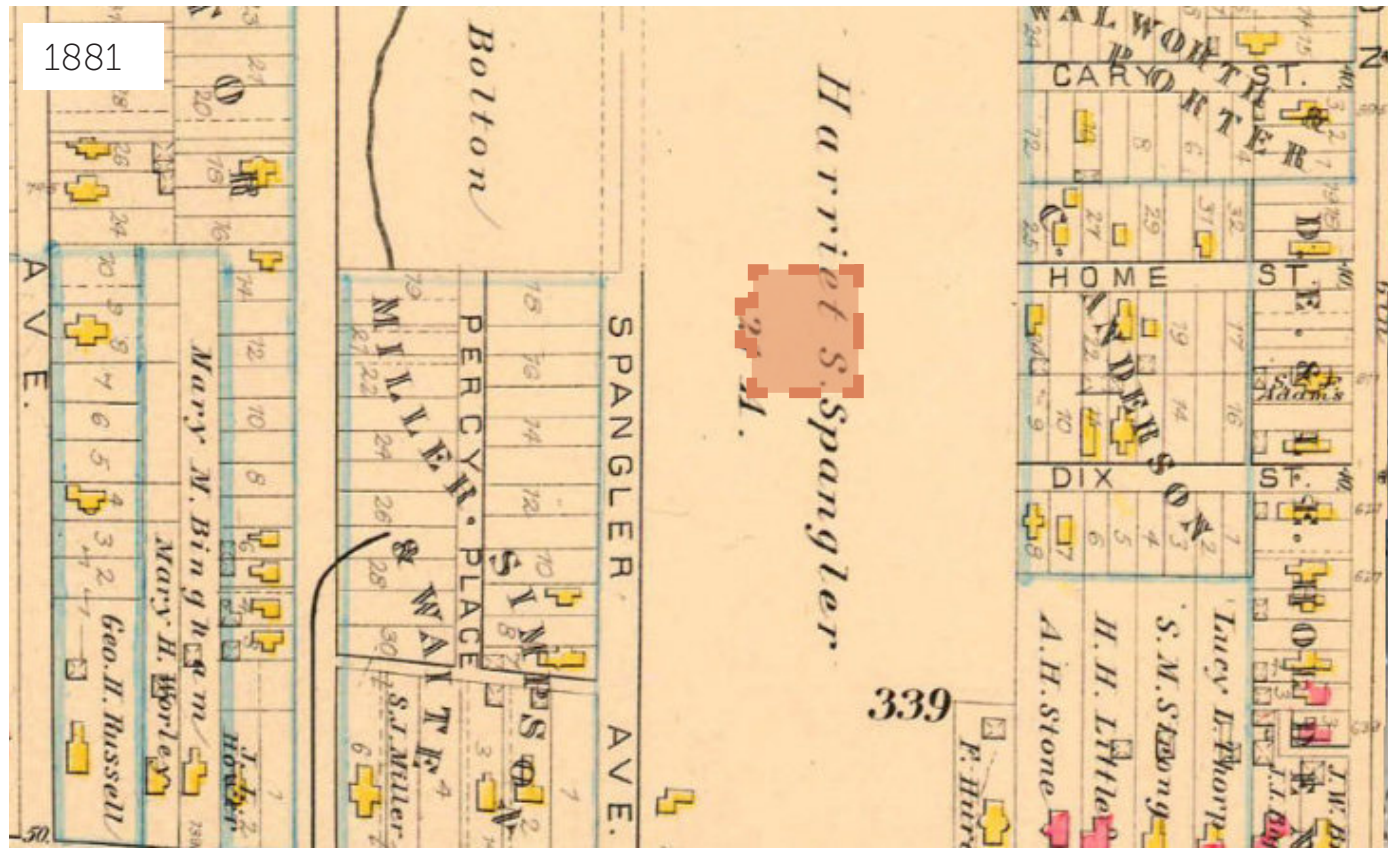
Project Address: 1914 East 75th Street

Project Representative: John Wagner, City Architecture

Note: this project received Schematic Design Approval by the Planning Commission on May 15, 2020.






CHESTER 75







Historical Context

-  Midtown Mixed-Use
-  Multi-Family
-  Two Family
-  Local Retail Business
-  Shopping Center

Project Site Zone:

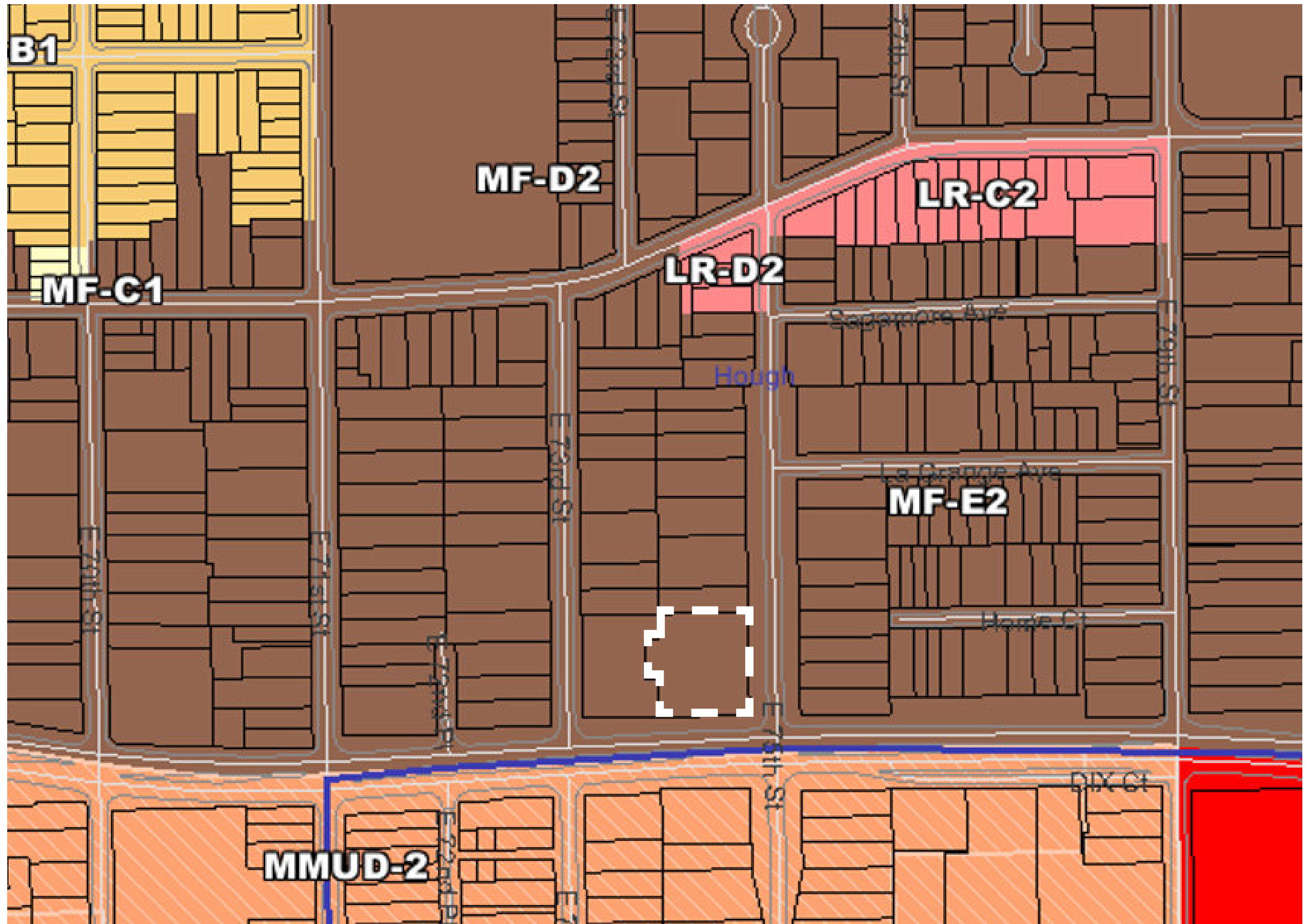
MF-E2
Multi-Family

E Area Requirements:

1.5 x Site Area
 1.5 x 36,576 SF = 54,864 SF
 Proposed: 56,095 SF

2 Height Requirements:

90'-0" Max. Height
 Proposed: 46'-7"





Existing Site



Existing Site Conditions



Site Plan



Ivory Silk Lilac



Robin Hill Serviceberry



Little Lime Hydrangea



Green Velvet Boxwood



Burgundy Glow Buglewood



Karl Foerster Feather Reed Grass



Ruby Spice Clethra



Sapphire Blue Oat Grass



Emerald Green Arborvitae



Autumn Gold Ginkgo



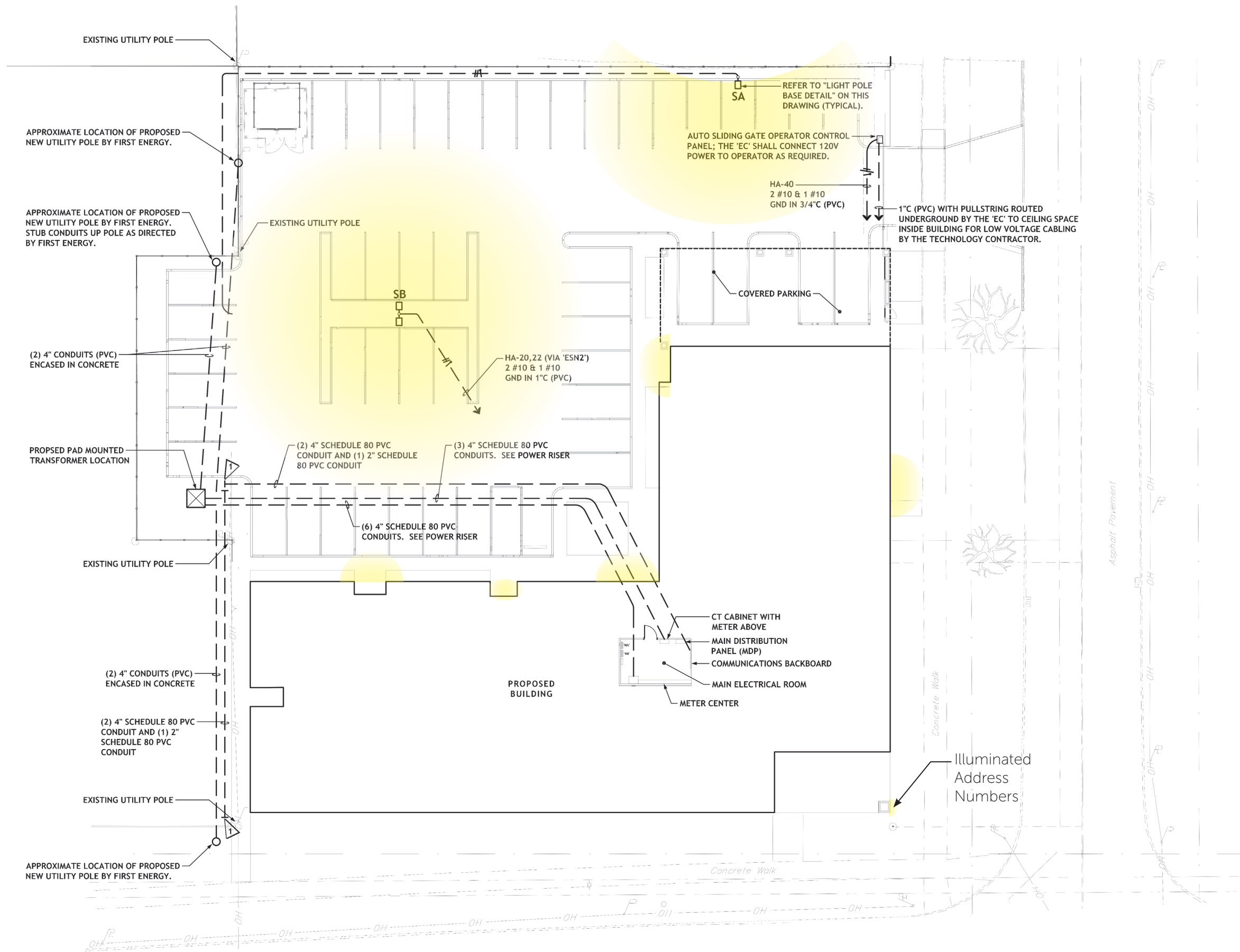
Arrowwood Viburnum



Royal Purple Liriope



Artic Sun Red Twig Dogwood



Parking Lot Lighting



Exterior Wall-Mounted Lighting



First Floor



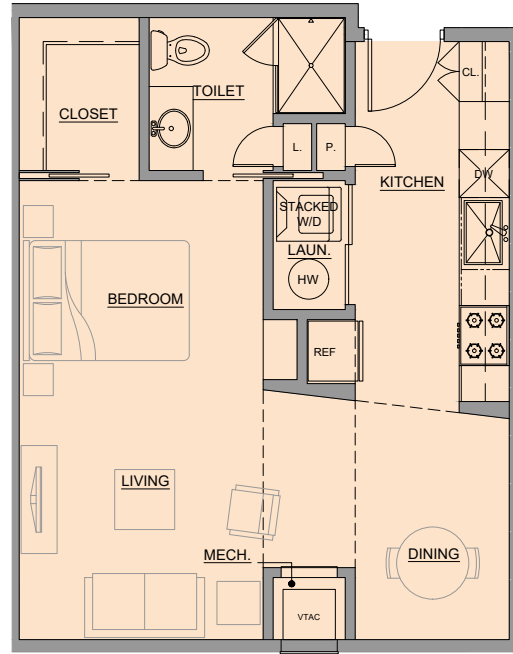
Second Floor



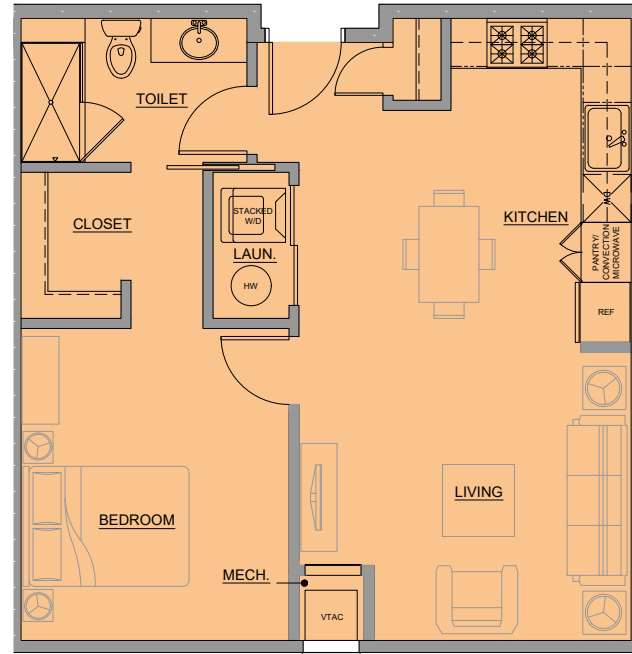
Third Floor



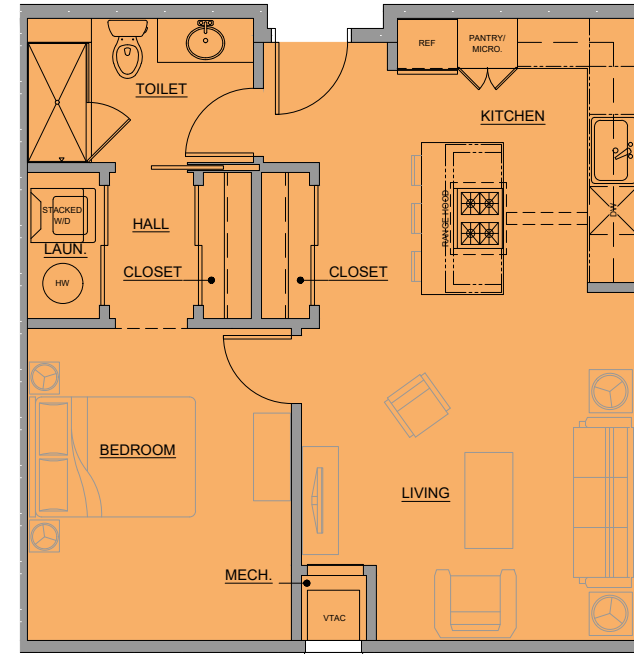
Fourth Floor



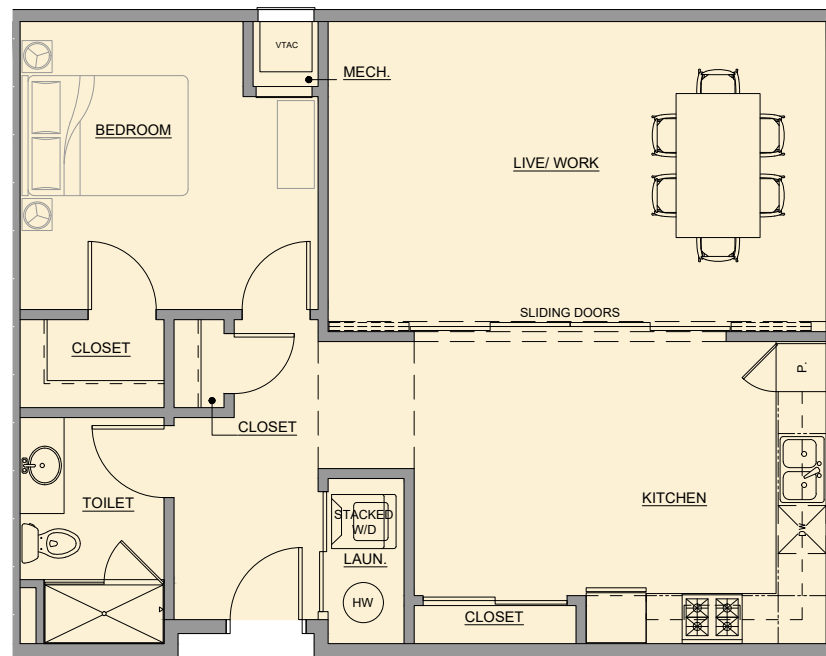
Studio



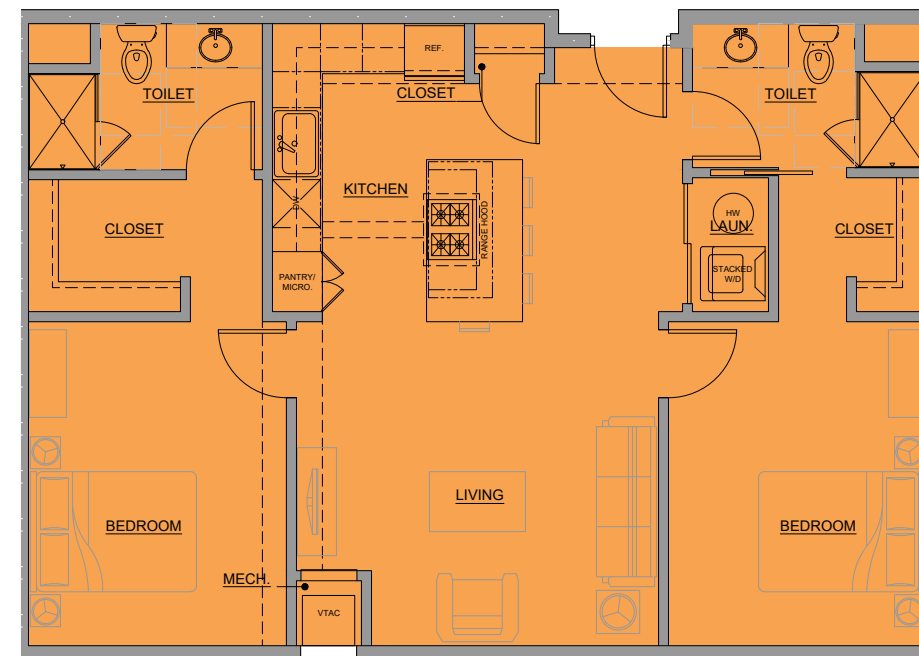
1 Bedroom



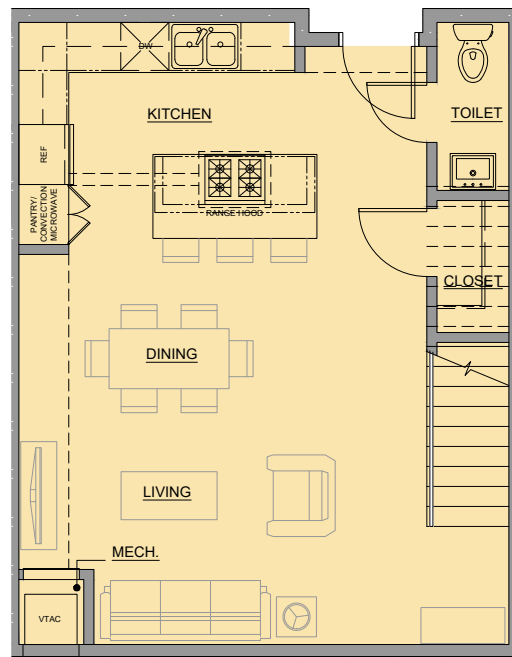
1 Bedroom - Corner



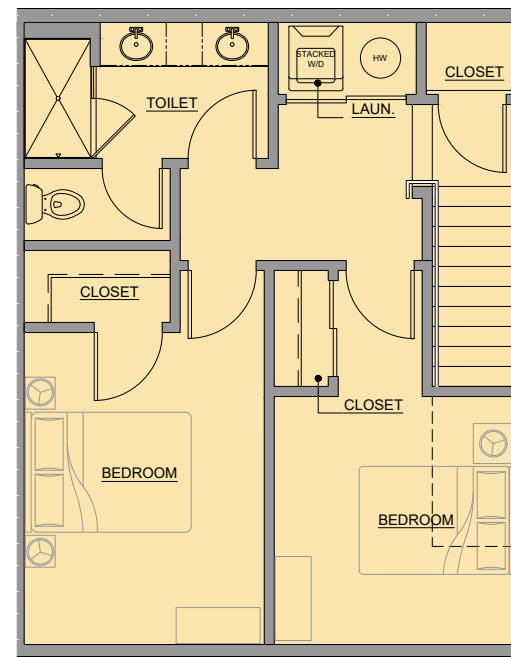
Live / Work



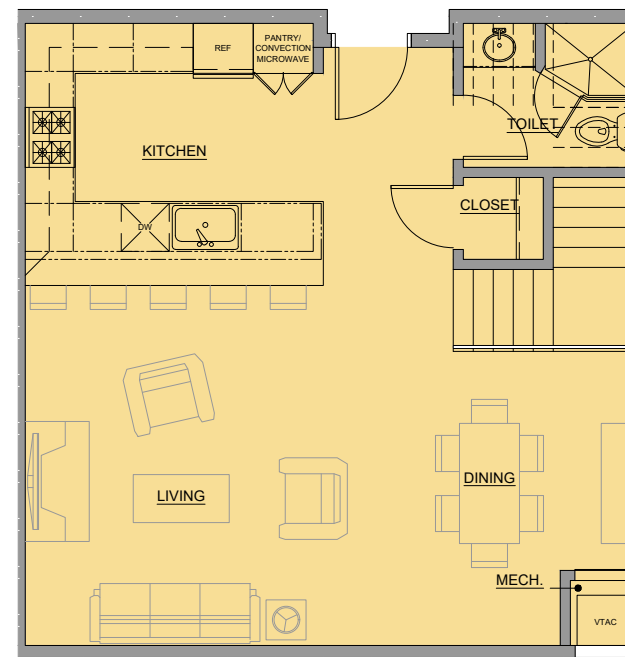
2 Bedroom



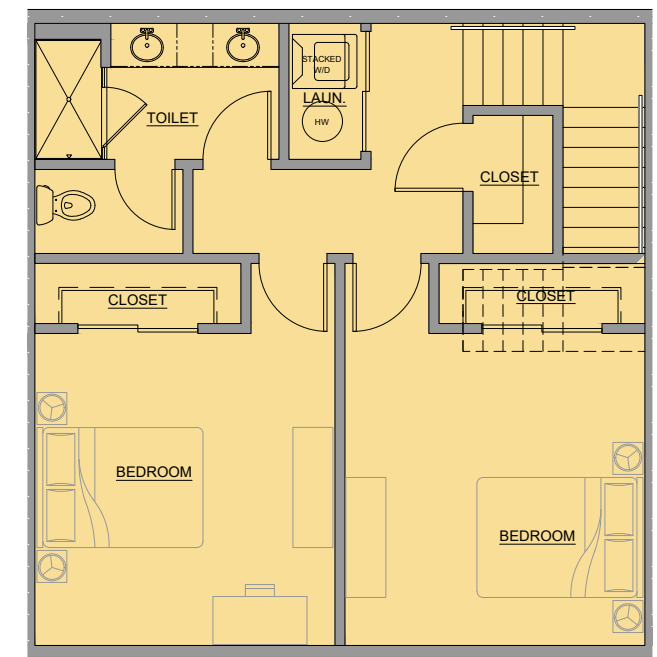
Townhouse 1 - First Floor



Townhouse 1 - Second Floor



Townhouse 2 - First Floor



Townhouse 2 - Second Floor



South Elevation - Chester Avenue



East Elevation - East 75th Street



North Elevation



West Elevation



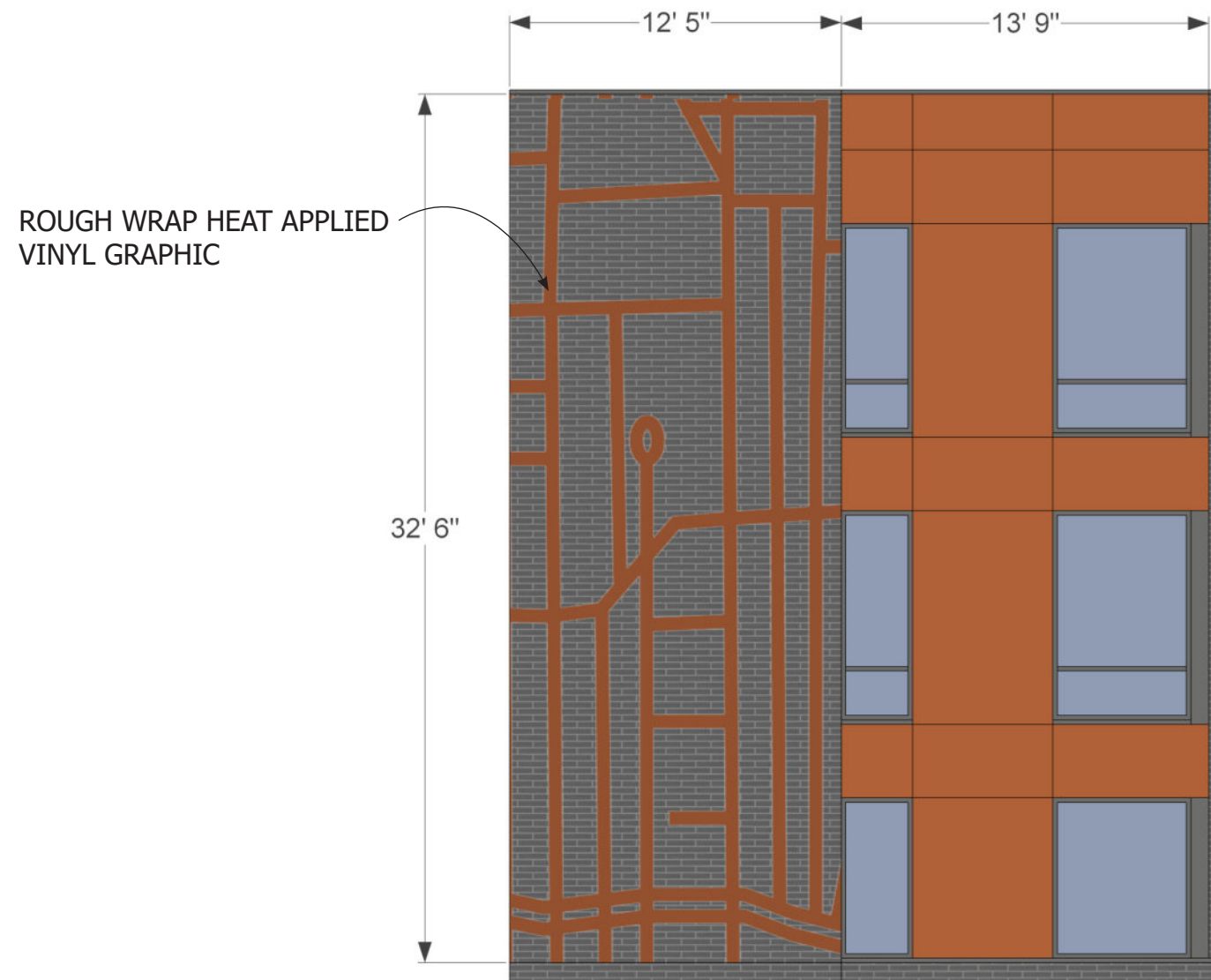
WOODGRAIN METAL PANEL



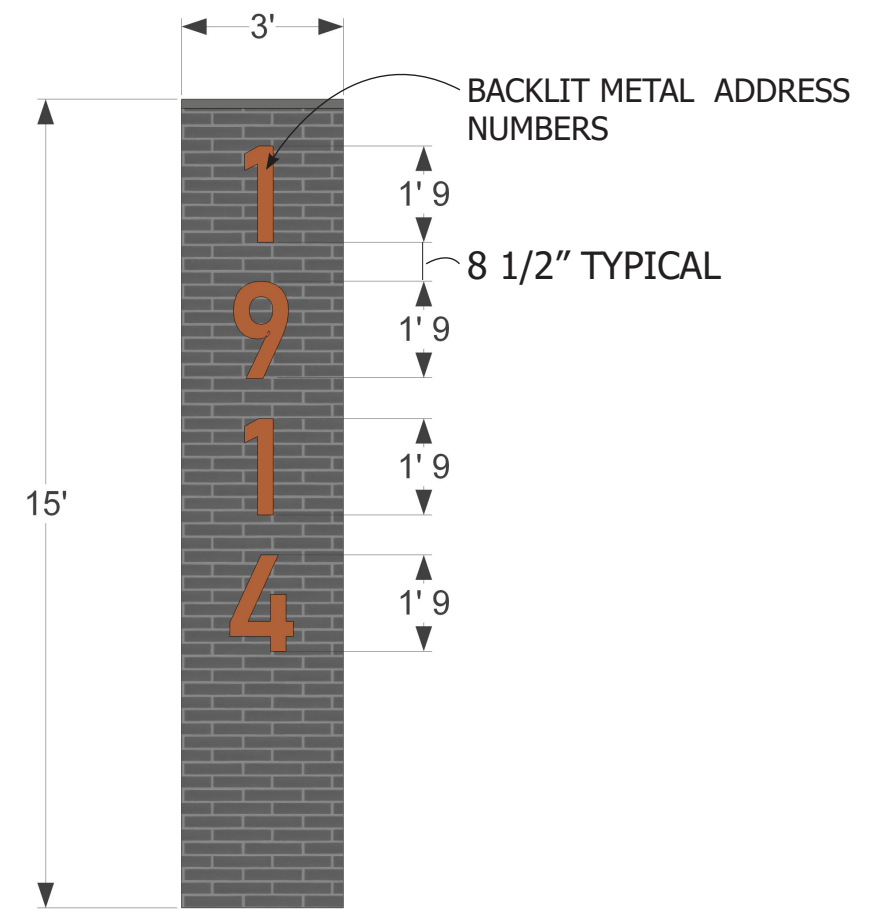
BRICK



BLACK ORNAMENTAL FENCE



Facade Graphic



Address Numbers



Chester Avenue and East 75th St.



Aerial Looking West



Chester Avenue Looking West

Downtown | Flats Design Review Case



June 4, 2021

DF2021-011 - Flats East Bank Electronic Message Board: Seeking Final Approval

Project Location: 1055 Old River Road

Project Representatives: James Vacey, Signature Sign

Mike Boyer, Signature Sign

Flats East Bank Electronic Message Centers

DESIGN INTENT AND SPECIFICATIONS FOR EXTERIOR SIGNAGE **02.1**



ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

Flats East Bank/
Scott Wolstein

PROJECT

Electronic Message Centers

PROJECT LOCATION

1055 Old River Road
Cleveland, OH 44113

DATE CREATED

05/26/2021



SIGNATURE SIGN Co.
CLEVELAND

Flats East Bank

Electronic Message Centers - DESIGN INTENT AND SPECIFICATIONS - FINAL 02.1

DESIGN INTENT ONLY - NOT SUITABLE FOR PRODUCTION

EMC - Conceptual Rendering

02.1-A

SCALE: N/A

Conceptual Rendering - Southwest View



EXISTING



PROPOSED

ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

Flats East Bank/
Scott Wolstein

PROJECT

Electronic Message Centers

PROJECT LOCATION

1055 Old River Road
Cleveland, OH 44113

DATE CREATED

05/26/2021

DESIGN TYPE

Design Intent -
Specifications Submittal -
FINAL

DESIGN VERSION

02.1

REVISIONS

SCALE

As Noted

PAGE

02 of 09



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Flats East Bank

Electronic Message Centers - DESIGN INTENT AND SPECIFICATIONS - FINAL 02.1

DESIGN INTENT ONLY - NOT SUITABLE FOR PRODUCTION

EMC - Front Elevation Size Comparison

02.1-A

SCALE: 1/4" = 1'



ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

Flats East Bank/
Scott Wolstein

PROJECT

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Flats East Bank

Electronic Message Centers - DESIGN INTENT AND SPECIFICATIONS - FINAL 02.1

DESIGN INTENT ONLY - NOT SUITABLE FOR PRODUCTION

EMC - Front Elevation

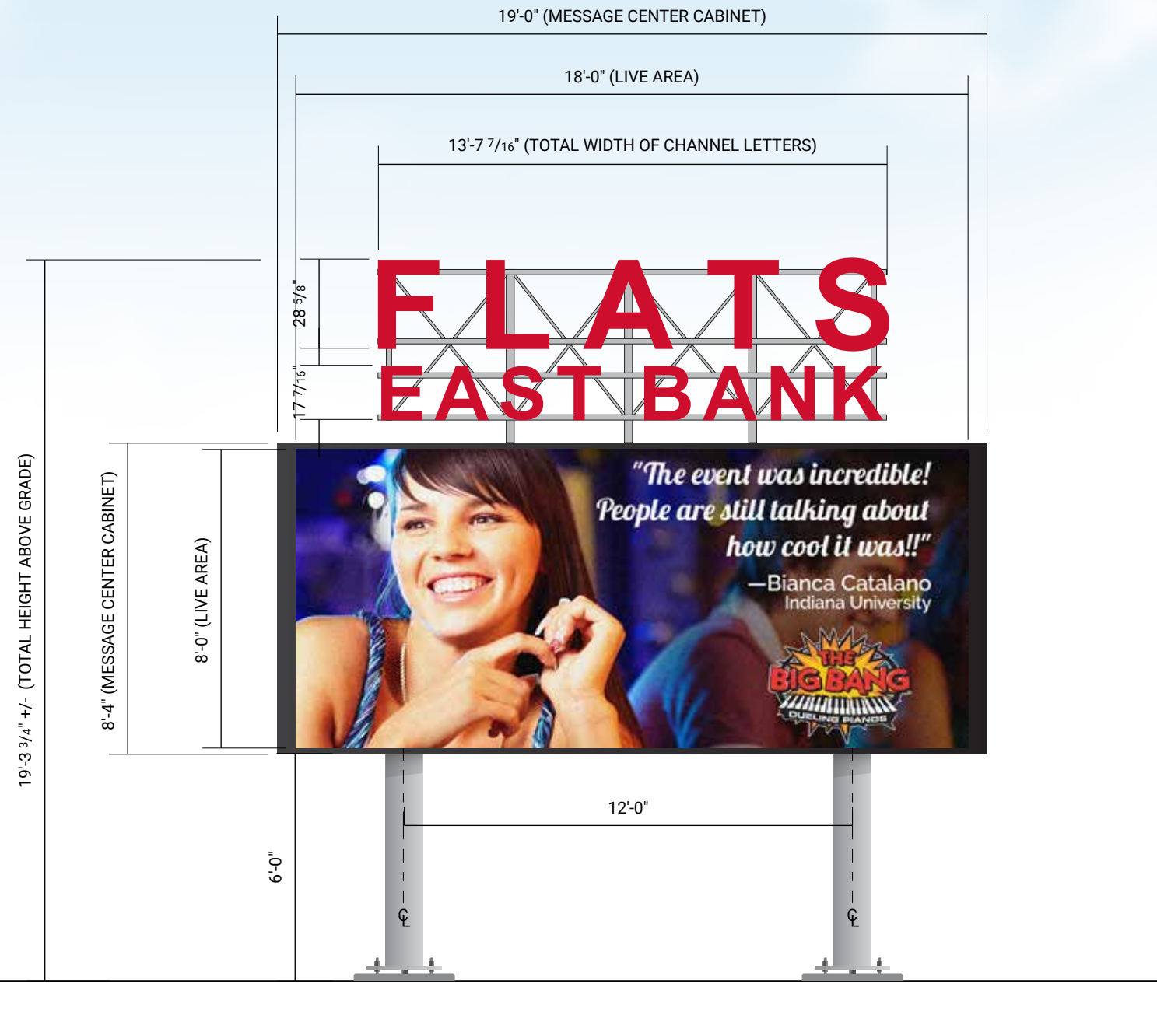
02.1-A

ONE (1) - 19'-0"W x 8'-4"H (+/-) DOUBLE-SIDED, HIGH-RESOLUTION DIGITAL LED DISPLAY MOUNTED TO TWO 12"Ø STEEL TUBE UPRIGHTS WITH REQUIRED BRACING. THE DISPLAY FEATURES THE FLATS - EAST BANK LOGOMARK AS FABRICATED ALUMINUM FACE-LIT CHANNEL LETTERS MOUNTED TO ALUMINUM TUBE WELDED FRAME. THE ENTIRE STRUCTURE WILL BE INSTALLED WITHIN AN EXISTING ISLAND IN THE NORTHEAST SECTION OF A CUL-DE-SAC AT THE END OF FRONT AVENUE.

QTY: 1

SCALE: 1/4" = 1'

AREA: 158.33² +/-



ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

Flats East Bank/
Scott Wolstein

PROJECT

Electronic Message Centers

PROJECT LOCATION

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Cleveland, OH 44113

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Electronic Message Centers - DESIGN INTENT AND SPECIFICATIONS - FINAL 02.1

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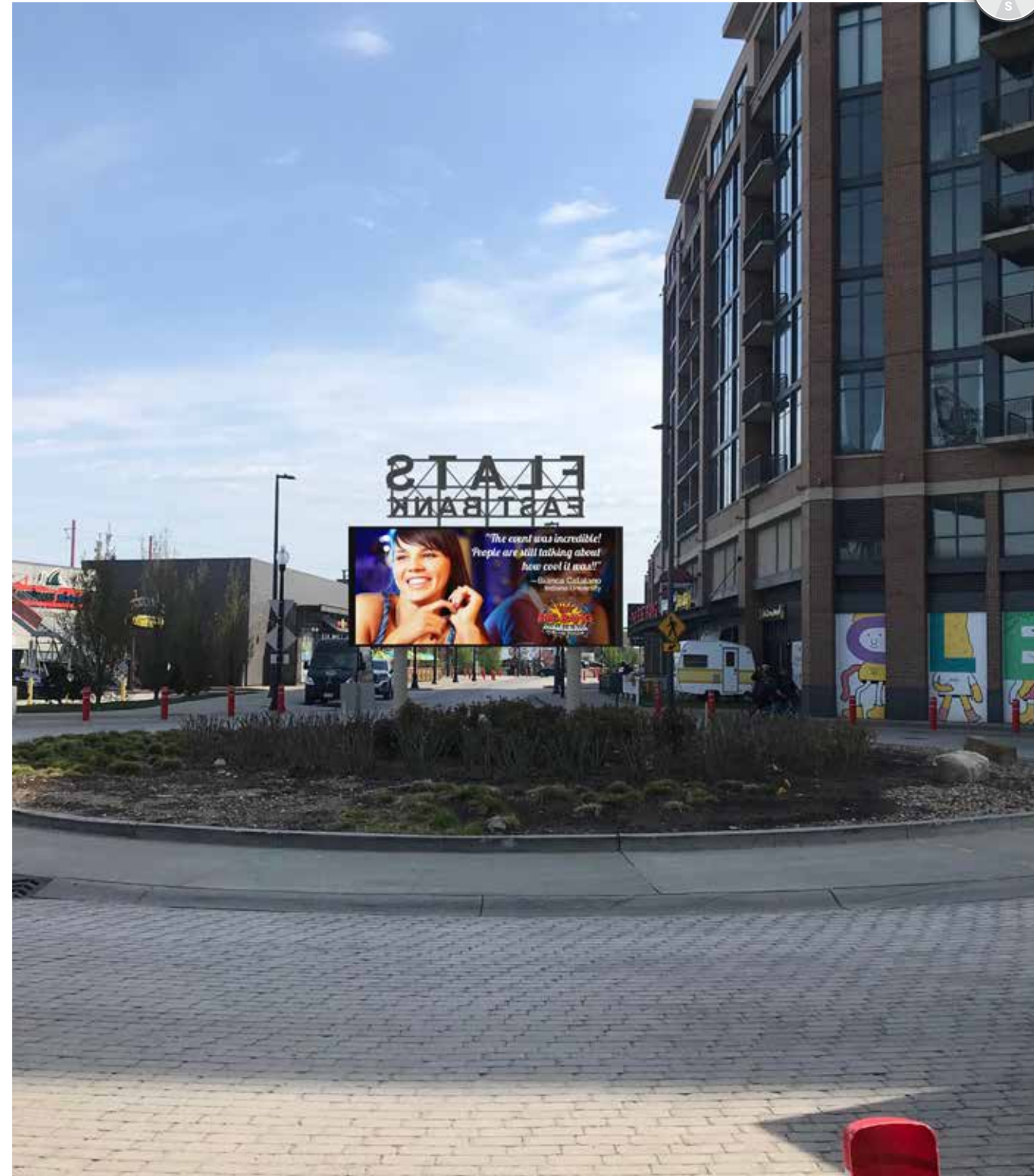
02.1-A ○ EMC - Conceptual Rendering - Rear View

SCALE: N/A



EXISTING

Conceptual Rendering - Northeast View



PROPOSED

ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

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Scott Wolstein

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Flats East Bank

Electronic Message Centers - DESIGN INTENT AND SPECIFICATIONS - FINAL 02.1

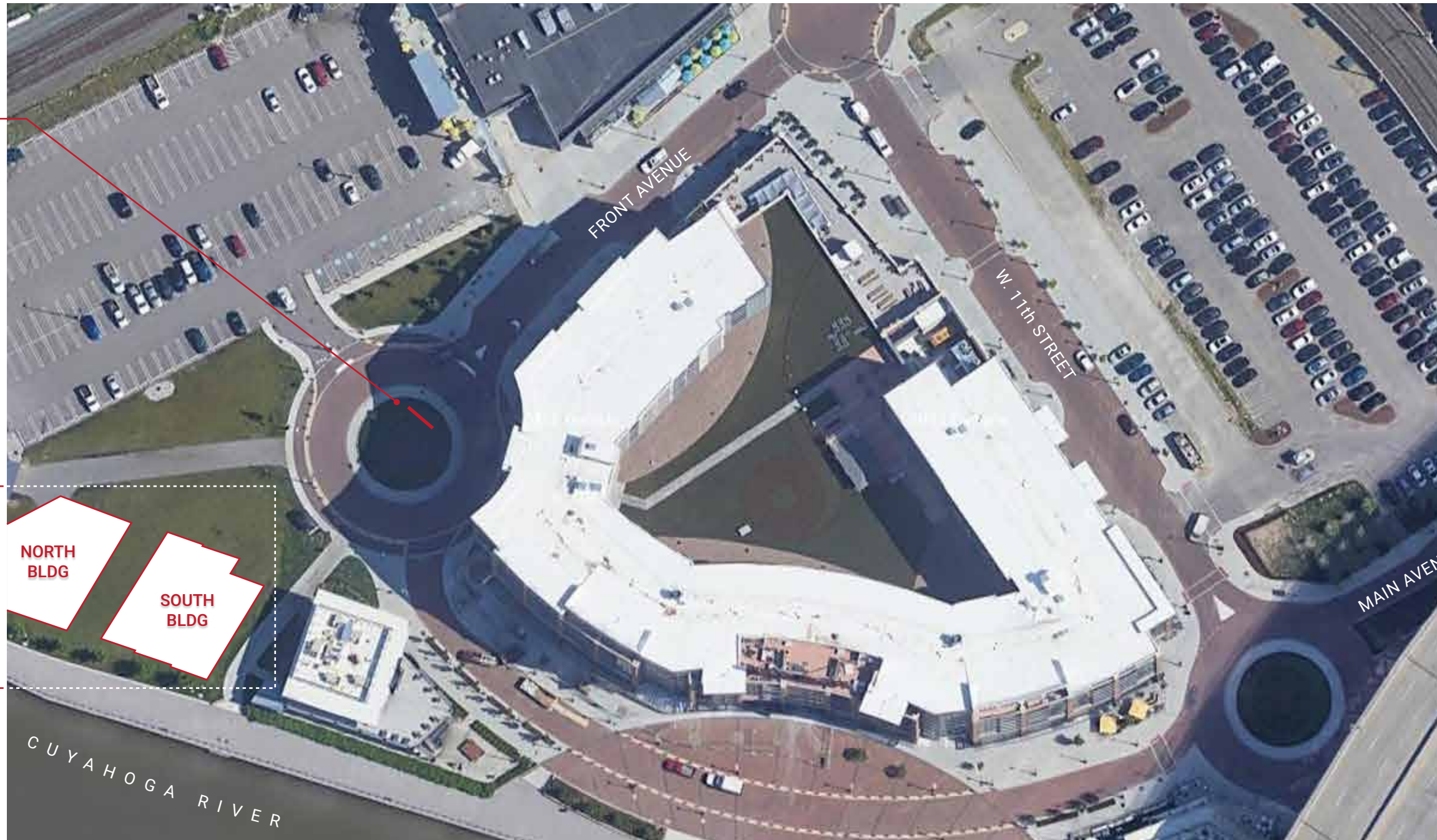
DESIGN INTENT ONLY - NOT SUITABLE FOR PRODUCTION

EMC - Site Plan

SCALE: N/A



Sign



FLATS EAST BANK
PHASE II
RIVERVIEW RESTAURANTS
(UNDER CONSTRUCTION)

NORTH
BLDG

SOUTH
BLDG

ACCOUNT EXECUTIVE

Bruce Farkas

PROJECT MANAGER

Bruce Farkas

DESIGNER

Chris DiAlfredi

PROSPECT/CLIENT

Flats East Bank/
Scott Wolstein

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Cleveland City Planning Commission

DRAC New Member Nominations



June 4, 2021

Design Review New Member Nomination

June 4, 2021



NOTHING SCHEDULED TODAY

Cleveland City Planning Commission

Director's Report



June 4, 2021

Cleveland City Planning Commission

Adjournment



June 4, 2021